

# DUNKIN' DONUTS

PREPARED FOR  
ECB REALTY, LLC

337 FEDERAL ROAD  
BROOKFIELD, CONNECTICUT

OWNER:

ECB REALTY, LLC  
C/O ED BASTISTA  
21 EQUESTRIAN RIDGE  
NEWTOWN, CT 06470

APPLICANT/DEVELOPER:

ECB REALTY, LLC  
C/O ED BASTISTA  
21 EQUESTRIAN RIDGE  
NEWTOWN, CT 06470

ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT



LIST OF DRAWINGS

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N1	GENERAL LEGEND, NOTES & ABBREVIATIONS
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2002E+S	SEDIMENTATION & EROSION CONTROL PLAN

40 OLD NEW MILFORD ROAD  
BROOKFIELD, CONNECTICUT

FEBRUARY 6, 2014

*Steve C. Sutliff*  
Not Valid Without Embossed Seal

(SEAL & SIGNATURE LIMITED TO PLANS PREPARED BY CCA, LLC)

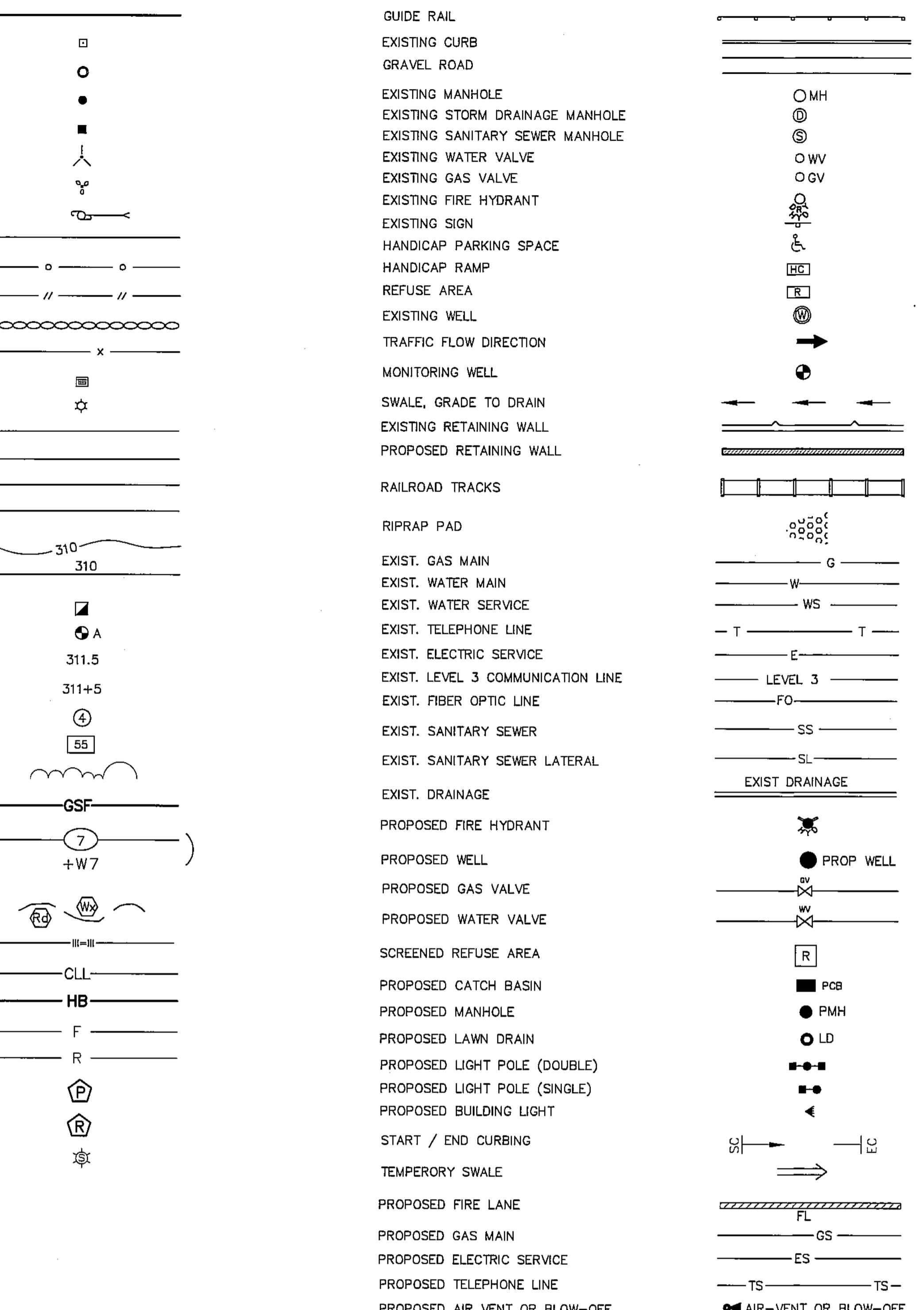
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## ABBREVIATIONS

APPROX	APPROXIMATE
BF	BASEMENT FLOOR
BM	BENCH MARK
BCLC	BITUMINOUS CONCRETE LIP CURB
BLDG	BUILDING
CIP	CAST IRON PIPE
CB	CATCH BASIN
CD	CURTAIN DRAIN
Ch	CHORD
CLL	CONSTRUCTION LIMIT LINE
CONC	CONCRETE
CONST	CONSTRUCT
CMP	CORRUGATED METAL PIPE
CPEP-S	CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR
CULV	CULVERT
DOT	DEPARTMENT OF TRANSPORTATION
DB	DISTRIBUTION BOX
DH	DRAINAGE MANHOLE
DH	DEEP HOLE
DR	DRIVEWAY
DIP	DUCTILE IRON PIPE
EOP	EDGE OF PAVEMENT
ELEC	ELECTRIC
ELEV	ELEVATION
EXIST, EX	EXISTING
EG	EXISTING GRADE
FE	FLARED END
FF	FIRST FLOOR
FG	FINISH GRADE
FND	FOUNDATION
GPD	GALLONS PER DAY
GAR	GARAGE
GND	GROUND
GSF	GEOTEXTILE SILT FENCE
GV	GAS VALVE
HW	HEADWALL
HC	HANDICAP
HWY	HIGHWAY
HYD	HYDRANT
IN	INLET
INV	INVERT
IP	IRON PIPE
L	LENGTH
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
MAX	MAXIMUM
MET	METAL
MBR	METAL BEAM RAIL
MIN	MINIMUM
MISC	MISCELLANEOUS
MON	MONUMENT
NO	NUMBER
OUT	OUTLET
P-#	PERCOLATION TEST
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
PV	PERMANENT VEGETATION
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PVRC	POINT OF VERTICAL REVERSE CURVE
PVC	POLYVINYL CHLORIDE PIPE
PROJ	PROJECT
PL	PROPERTY LINE
PROP, PR	PROPOSED
PS	PUMP STATION
R	RADIUS
RR	RAILROAD
RCP	REINFORCED CONCRETE PIPE
RELOC	RELOCATION
REQ'D	REQUIRED
RET	RETAINING
ROW	RIGHT OF WAY
RD.	ROAD
RD	ROOT DRAIN
SAN	SANITARY
SSMH	SANITARY SEWER MANHOLE
ST	SEPTIC TANK
SPEC	SPECIFICATION
SPK	SPIKE
STK	STAKE
STD	STANDARD
STA	STATION
SW	STONE WALL
SS	SANITARY SEWER
STY	STORY
ST.	STREET
TAN	TANGENT
TEL	TELEPHONE
TEMP	TEMPORARY
TF	TOP OF FRAME
U-DRAIN	UNDER DRAIN
VERT	VERTICAL
WV	WATER VALVE
W/	WITH
YD	YARD DRAIN

## GENERAL LEGEND



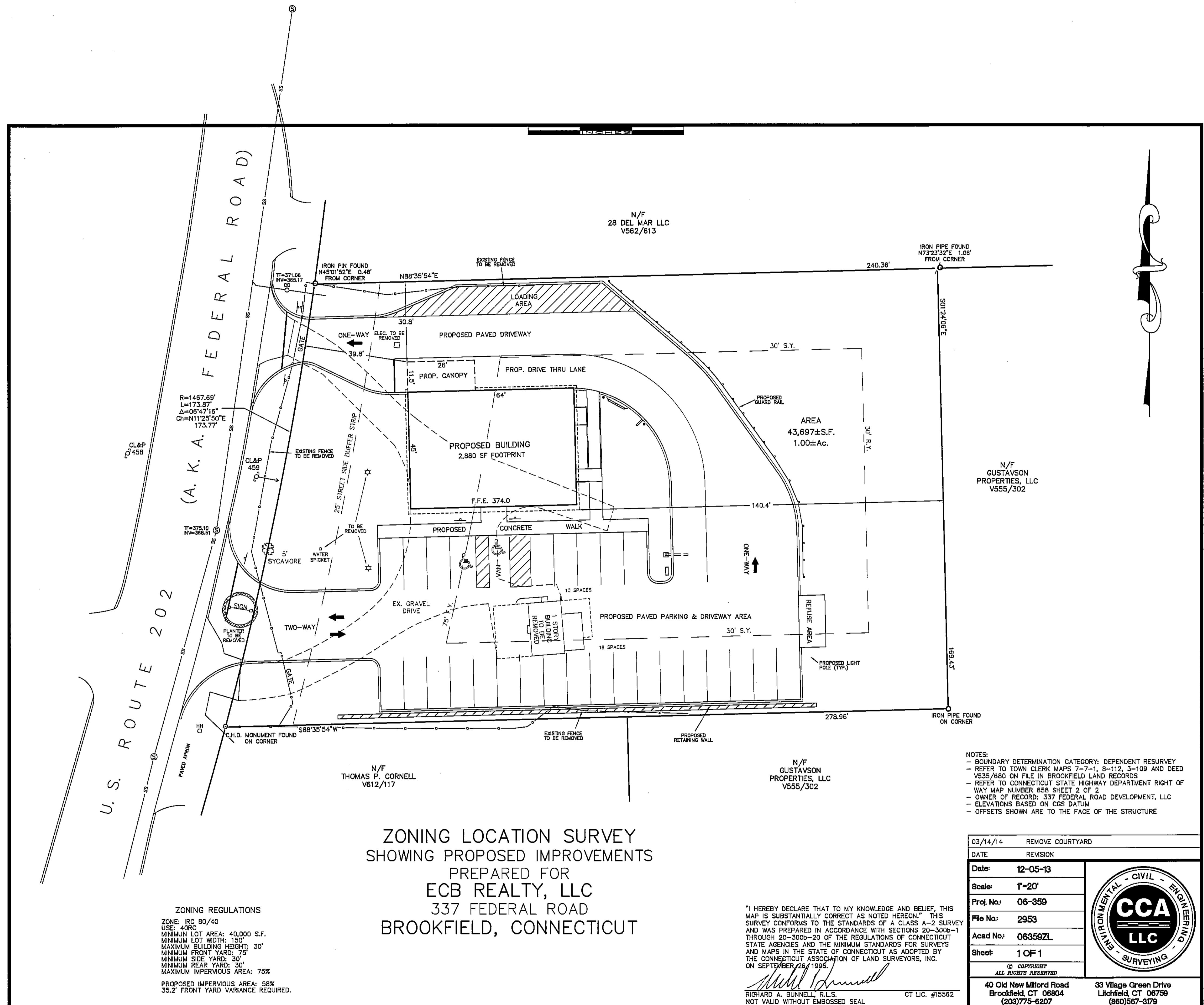
## GENERAL NOTES

1. ALL WORK TO MEET TOWN OR CITY, STATE AND FEDERAL CODES, REGULATIONS AND STANDARDS AS APPLICABLE.
2. DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY FOR RESOLUTION.
3. ALL PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING REQUIRED PERMITS AND NOTIFYING THE TOWN OR CITY DEPARTMENTS AND THE ENGINEER FOR INSPECTIONS.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET CONNECTICUT D.O.T. STANDARDS FOR ITEMS NOT SPECIFIED IN THE TOWN OR CITY REGULATIONS.
6. ALL CATCH BASINS, MANHOLES, PIPING AND OTHER UTILITY COMPONENTS WITHIN TRAFFIC AREAS SHALL BE CAPABLE OF SUPPORTING H-20 LOADING.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ON-SITE AND OFF-SITE FIELD CONDITIONS AND VERIFY THAT NO CHANGES HAVE OCCURRED SINCE THE ISSUANCE OF THIS PLAN. THE DESIGN ENGINEER IS TO BE NOTIFIED OF ANY CHANGES WHICH CONFLICT WITH THIS PLAN.
8. THE EROSION CONTROL LINE (GSF) IS TO BE CONSIDERED AS THE LIMIT OF CONSTRUCTION UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND QUANTITIES SHOWN ON THESE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WHOM SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS TO CONSTRUCT BY.
10. STRICT ADHERENCE TO ALL OSHA, TOWN OR CITY AND STATE OF CONNECTICUT REGULATIONS REGARDING CONSTRUCTION IS REQUIRED AT ALL TIMES.
11. CONTRACTOR SHALL NOTIFY CALL-BEFORE-YOU-DIG (1-800-922-4455) FOR UTILITY MARKOUT PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR JOB SAFETY.
13. ALL UTILITIES TO BE INSTALLED UNDERGROUND.
14. UTILITY LOCATIONS WILL BE AS DETERMINED BY THE UTILITY COMPANIES.
15. THE LOCATION AND ELEVATION OF UNDERGROUND UTILITIES IS UNKNOWN. IF THEY ARE INDICATED AT ALL ON THESE PLANS, THEY ARE APPROXIMATE AND CCA, LLC, IT'S PRINCIPALS OR EMPLOYEES, SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND/OR ADDITIONAL COSTS WHICH MIGHT RESULT FROM THE EXISTENCE OF SAID UTILITIES.
16. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
17. ALL GRADING SHALL BE PERFORMED TO ELIMINATE LOW POINTS AND DEPRESSIONS WHICH WOULD TRAP SURFACE WATER. CONTACT THE DESIGN ENGINEER IF CHANGES ARE WARRANTED.
18. GRADING TO BE TO ALL APPLICABLE REGULATIONS AND NORMAL STANDARDS OF GOOD PRACTICE.
19. MINOR GRADING CHANGES ARE PERMITTED TO MEET FIELD CONDITIONS PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE ENGINEER.
20. GRADING SHALL MAINTAIN EXISTING RUNOFF CONDITIONS.
21. ALL BACKFILL FOR BUILDINGS, TRENCHES, STRUCTURES, PARKING, DRIVEWAY AND SIDEWALK ETC. SHALL BE ADEQUATELY COMPACTED TO PREVENT EXCESSIVE SETTLEMENT. CONTACT THE ENGINEER SHOULD ADDITIONAL CLARIFICATION BE NECESSARY.
22. CONTRACTOR TO MATCH INTO EXISTING CONDITIONS AT ALL POINTS WHERE CONSTRUCTION MUST MATCH SUCH EXISTING CONDITIONS.
23. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED SO THAT THEY MAY BE ADJUSTED DOWN AT LEAST 12".

## GENERAL LEGEND, NOTES AND ABBREVIATIONS

Date:	JUNE 2012
Scale:	N.T.S.
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File No.:	STD.
Acad No.:	GENERAL
Sheet:	N1
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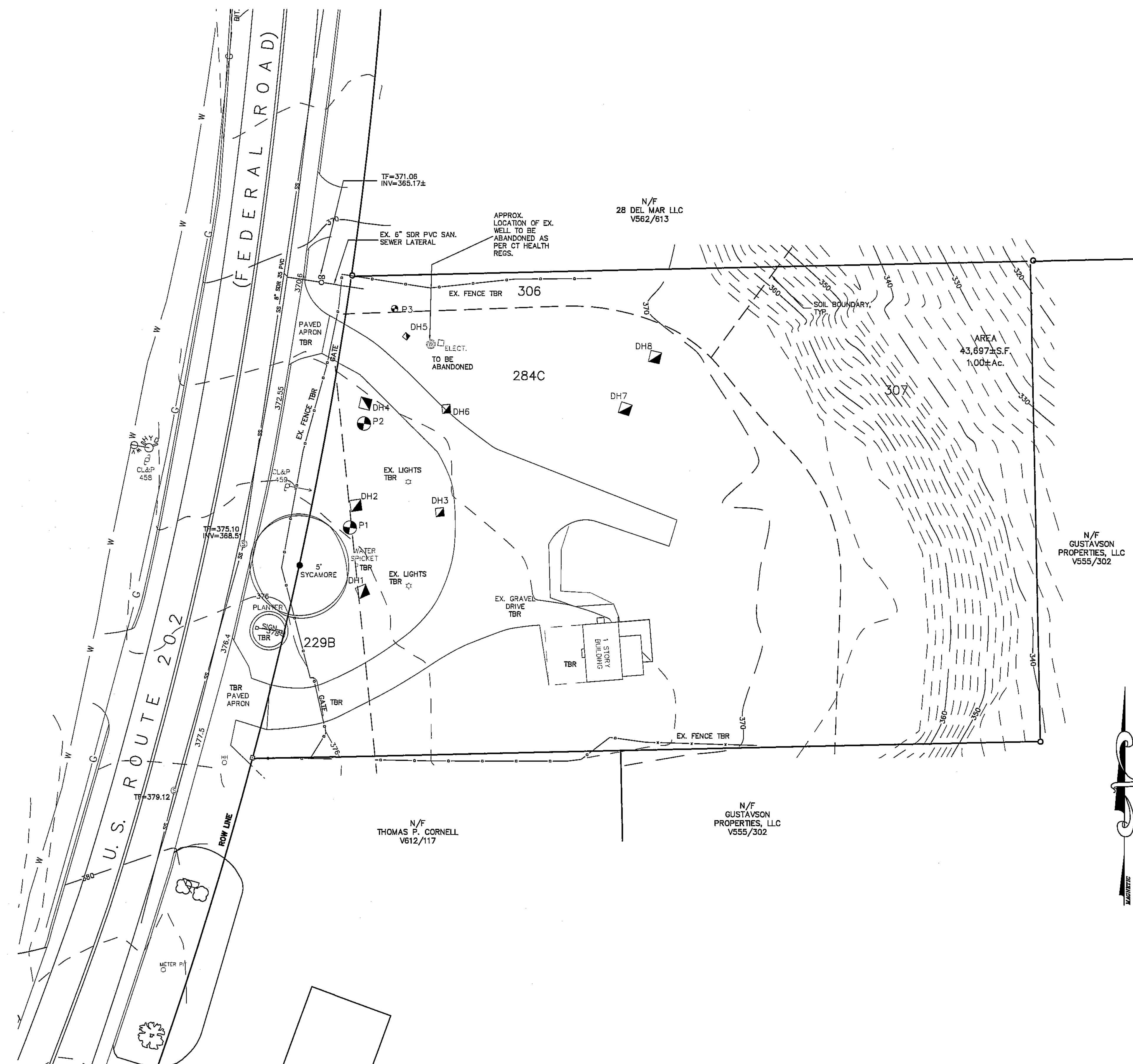


## LEGEND

\*APPROX. SOIL BOUNDARY PER  
NATURAL RESOURCES CONSERVATION  
SERVICE SOIL SURVEY

**SOILS LEGEND:**

229B: AGAWAM-URBAN LAND COMPLEX  
284C: PAXTON-URBAN LAND COMPLEX  
306: UDORTHENTS-URBAN LAND COMPLEX  
307: URBAN LAND



DEMOLITION &  
EXISTING CONDITIONS  
PLAN  
PREPARED FOR  
ECB REALTY, LLC  
337 FEDERAL ROAD  
BROOKFIELD, CONNECTICUT

Date:	02-06-14
Scale:	1'-20'
Proj. No.:	06359
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Acad No.:	06359SP
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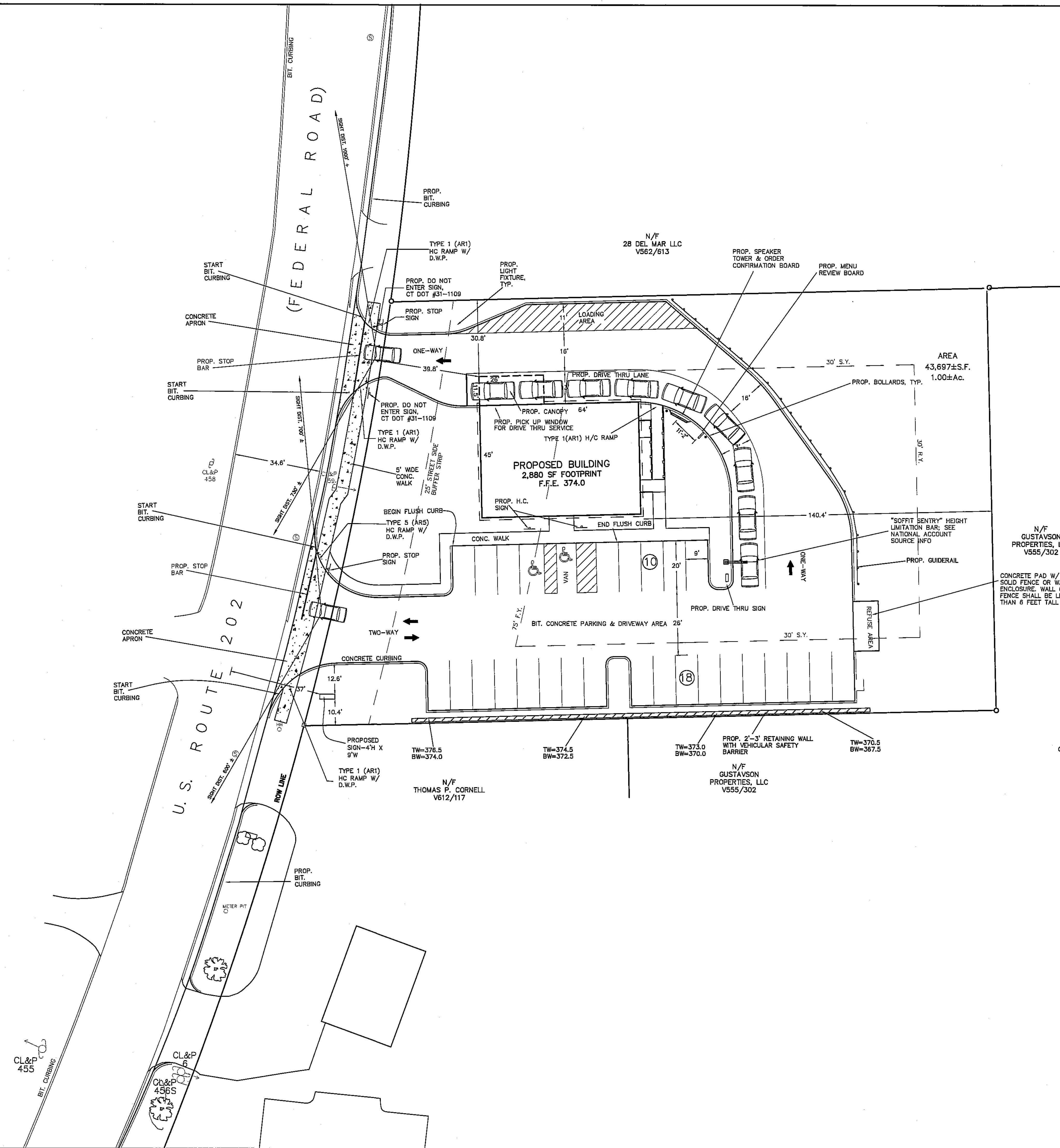


The logo is circular with a double-line border. Inside, the letters 'CCA' are prominently displayed in a large, bold, sans-serif font, with a thin horizontal line underneath. Below 'CCA' is the acronym 'LLC'. The words 'ENVIRONMENTAL', 'CIVIL', 'ENGINEERING', and 'SURVEYING' are arranged in a circle around the center, with thin horizontal lines separating them.

ZONING TABLE		
ZONE	REQUIRED	PROVIDED
USE	IRC 807/40	40RC
LOT AREA	40,000 S.F.	43,697 ±SF=1.00± ACRES
MIN. LOT WIDTH	150'	173.65'
BUILDING HEIGHT	30' MAX.	20±
FRONT YARD	75'	39.8' (*35.2' VARIANCE RECEIVED)
SI. YARD	30'	30.8'
REAR YARD	10'	140.4'
FLOOD PLAIN	ZONE X	
AQUIFER DISTRICT	PRIMARY RECHARGE AREA	ALLOWABLE USE
IMPERVIOUS AREA	75%	58.0±SF (0.58± ACRES)

\* FRONT YARD VARIANCE OBTAINED AT 1-6-14 ZBA MEETING.

**PARKING:**  
 RESTAURANT: 1 SPACE/100 SF GFA  
 2,772/100 = 28 REQUIRED  
 PARKING PROVIDED:  
 • 28 REGULAR  
 • 2 HANDICAP (1 VAN)  
 28 TOTAL



03/14/14	REMOVE COURTYARD
Date	Revision
LAYOUT & MATERIALS PLAN	
PREPARED FOR	
ECB REALTY, LLC	
337 FEDERAL ROAD	
BROOKFIELD, CONNECTICUT	
Date: 02-06-14	CIVIL
Scale: 1'-20'	ENVIRONMENTAL
Proj. No: 06359	ENGINEERING
File No: 2953	LLC
Acad No: 06359SP	SURVEYING
Sheet: C2	
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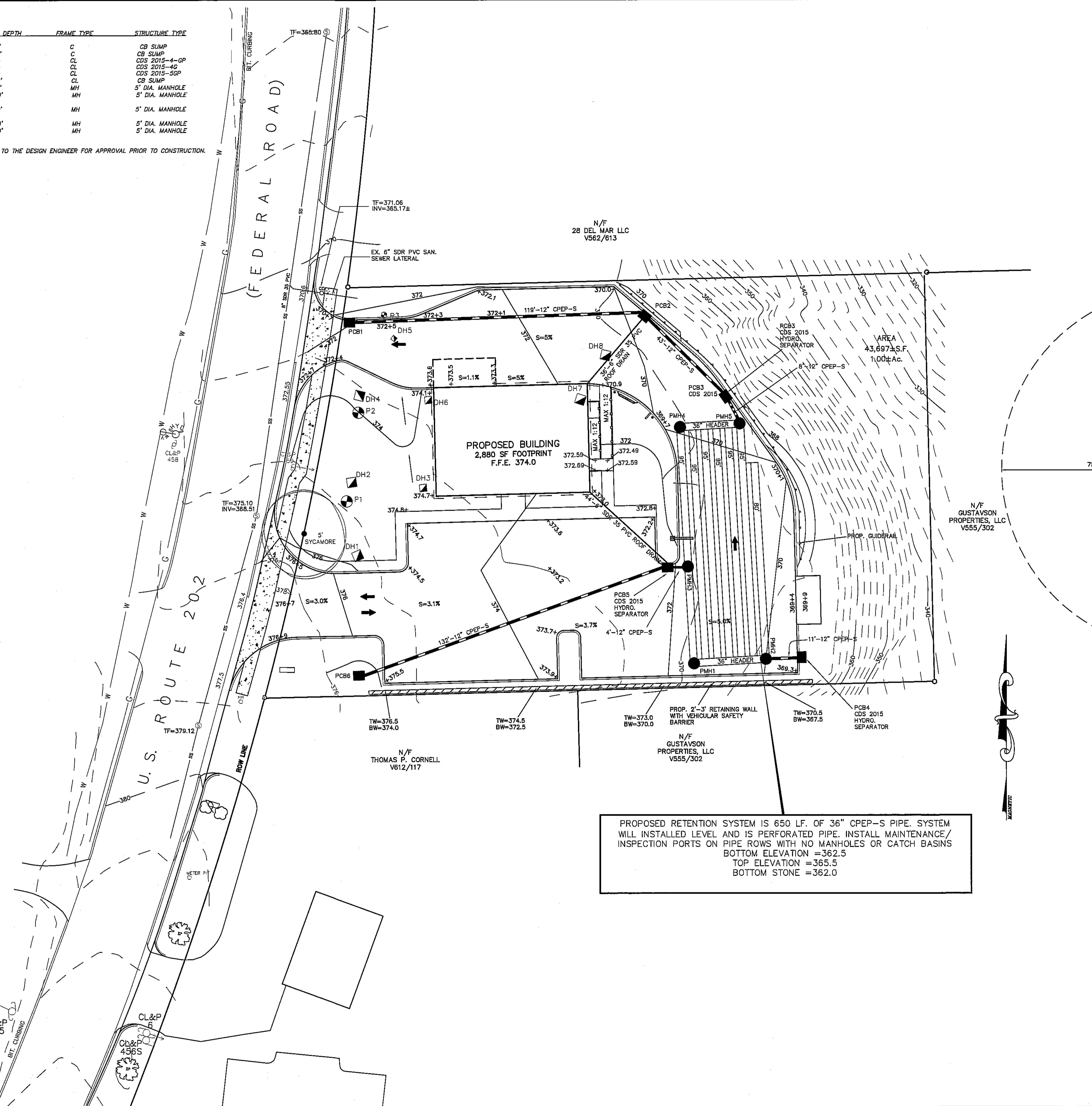


STRUCTURE	TF	INVERT	SUMP DEPTH	FRAME TYPE	STRUCTURE TYPE
PCB1	371.9	368.9	2'	C	CB SUMP
PCB2	369.7	367.1	2'	C	CB SUMP
PCB3	369.1	365.7	-	CL	CDS 2015-4-G
PCB4	369.1	366.6	-	CL	CDS 2015-4G
PCB5	372.1	366.6	-	CL	CDS 2015-5GP
PCB6	375.0	372.0	2'	CL	CB SUMP
PMH1	371.5	362.5	0'	MH	5' DIA. MANHOLE
PMH2	369.8	362.5	0'	MH	5' DIA. MANHOLE
		366.4-12"			
PMH3	371.7	362.5	0'	MH	5' DIA. MANHOLE
		366.4-12"			
PMH4	369.8	362.5	0'	MH	5' DIA. MANHOLE
PMH5	369.2	362.5	0'	MH	5' DIA. MANHOLE
		365.6-12"			

-DRAINAGE STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

MAINTENANCE OF THE DRAINAGE SYSTEM WILL BE THE  
RESPONSIBILITY OF THE PROPERTY OWNER.

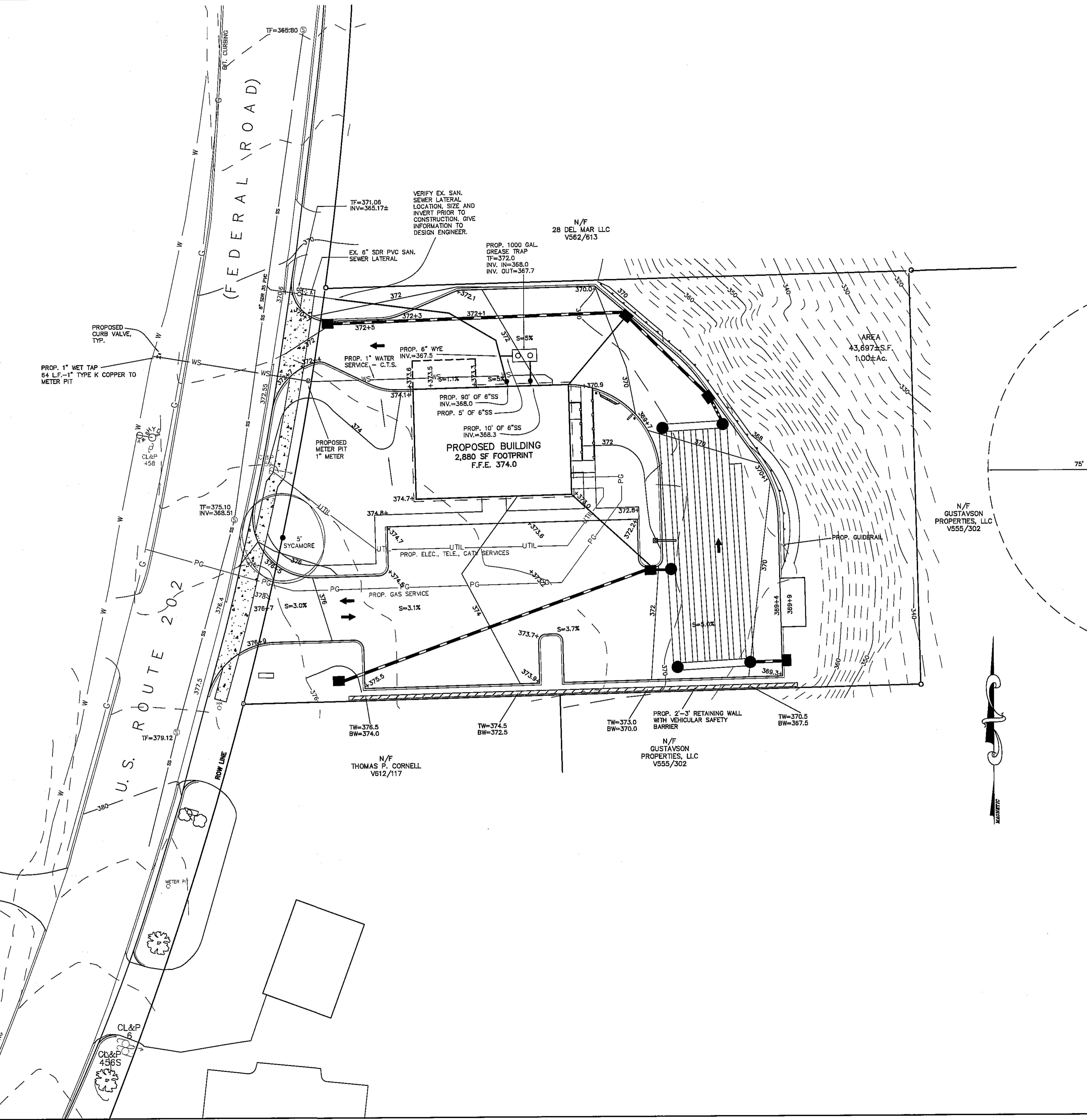
ALL WORK W/IN FEDERAL ROAD R.O.W. WILL  
REQUIRE THE NECESSARY ENCROACHMENT  
PERMIT FROM THE CONNECTICUT DOT DISTRICT  
IV OFFICE AND SHALL BE OBTAINED PRIOR TO  
CONSTRUCTION.



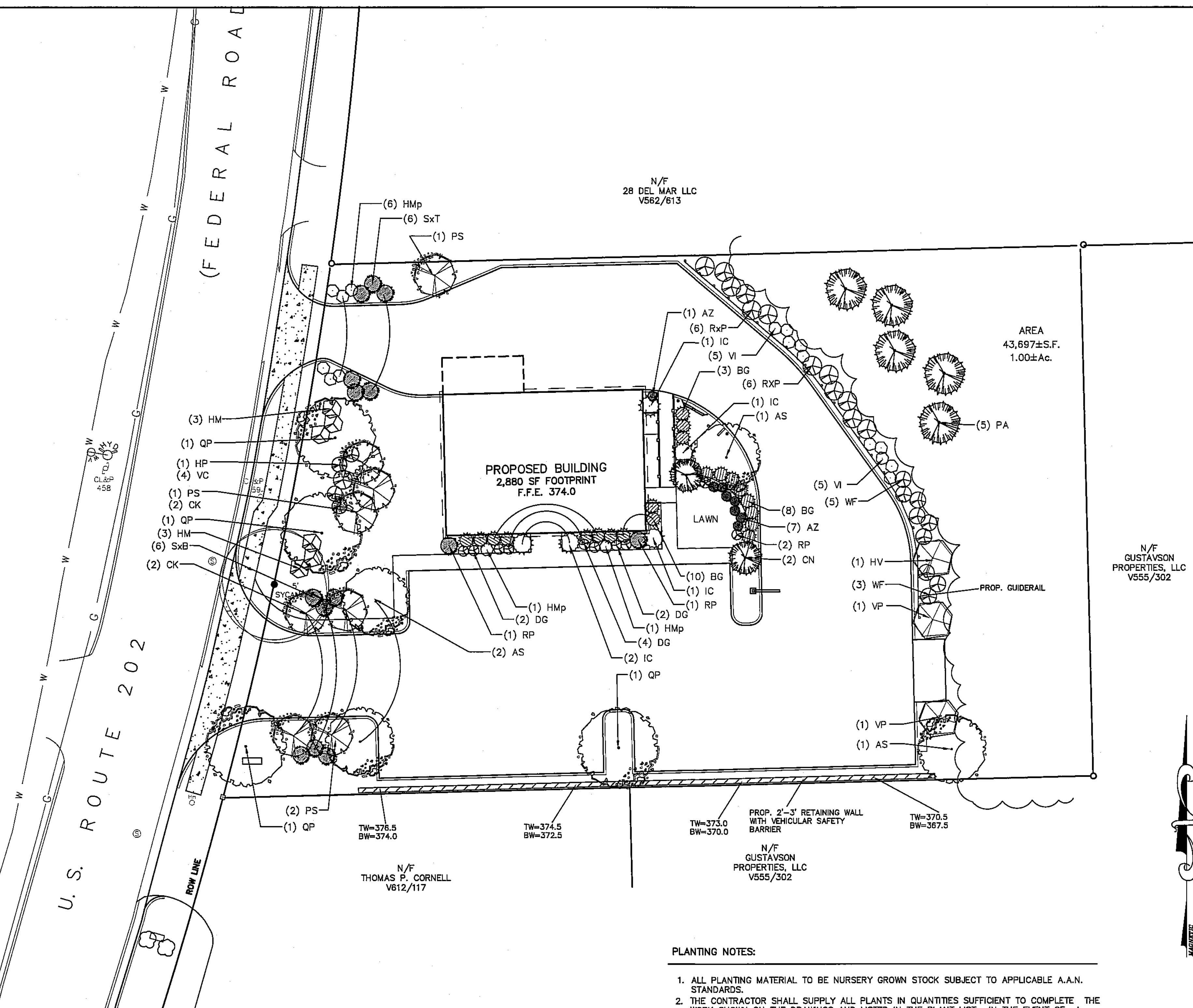
PROPOSED RETENTION SYSTEM IS 650 LF. OF 36" CPEP-S PIPE. SYSTEM WILL INSTALLED LEVEL AND IS PERFORATED PIPE. INSTALL MAINTENANCE INSPECTION PORTS ON PIPE ROWS WITH NO MANHOLES OR CATCH BASIN  
BOTTOM ELEVATION =362.5  
TOP ELEVATION =365.5  
BOTTOM STONE =362.0

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<h1>GRADING &amp; DRAINAGE PLAN</h1> <p>PREPARED FOR</p> <h2>ECB REALTY, LLC</h2> <h3>337 FEDERAL ROAD</h3> <h3>BROOKFIELD, CONNECTICUT</h3>	
Date:	02-06-14
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ALL ELEC., CATV, GAS & TELE. UTILITY  
CONNECTIONS AND LOCATIONS TO BE  
DETERMINED BY APPROPRIATE UTILITY CO.



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<h1>UTILITIES PLAN</h1> <p>PREPARED FOR</p> <h2>ECB REALTY, LLC</h2> <h3>337 FEDERAL ROAD BROOKFIELD, CONNECTICUT</h3>	
<p>Date: 02-06-14</p> <p>Scale: 1"-20'</p> <p>Proj. No.: 06359</p> <p>File No.: 2953</p> <p>Acad No.: 06359SP</p> <p>Sheet: C4</p> <p><small>© COPYRIGHT ALL RIGHTS RESERVED</small></p>	
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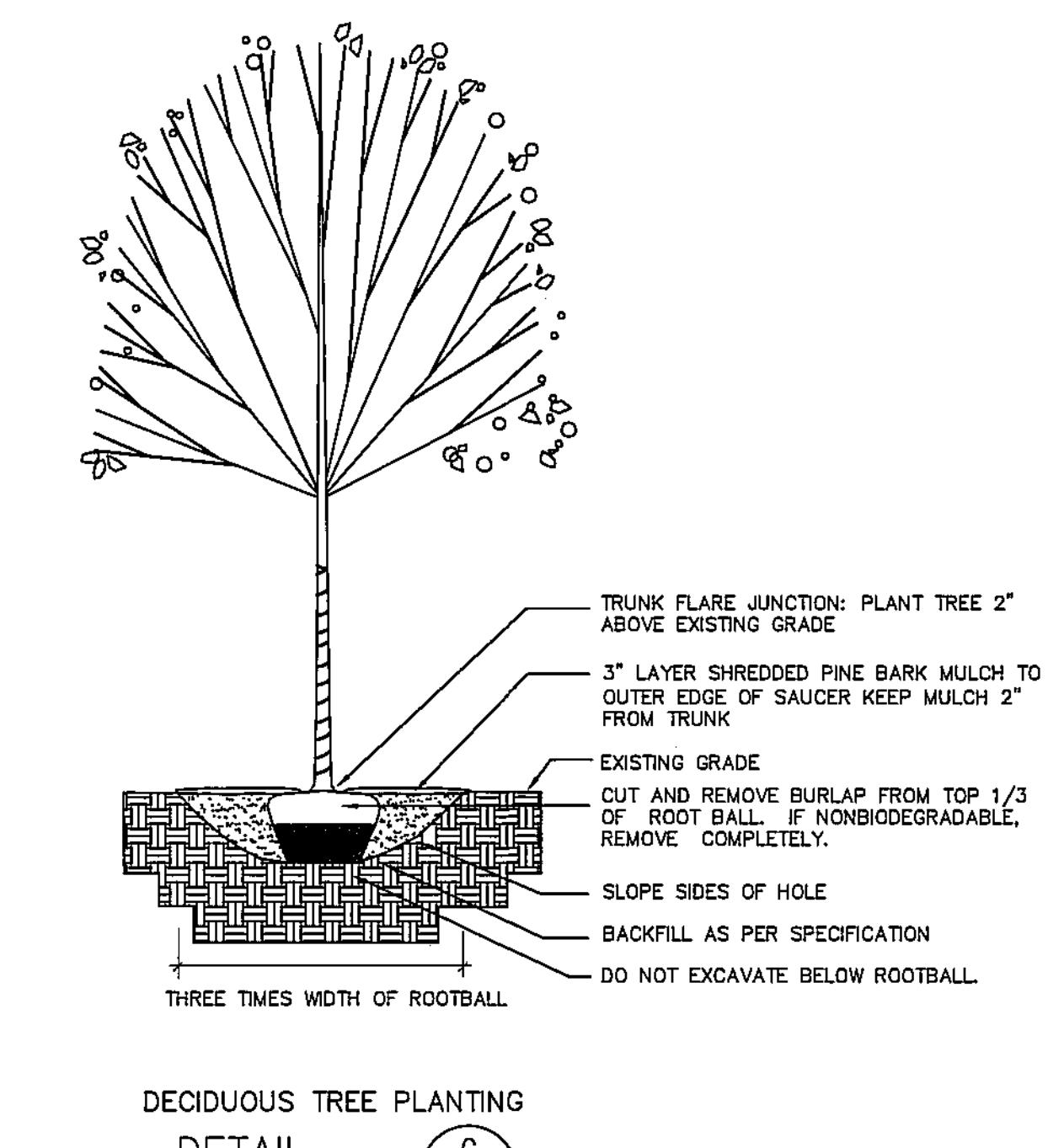


PLANTING NOTES:

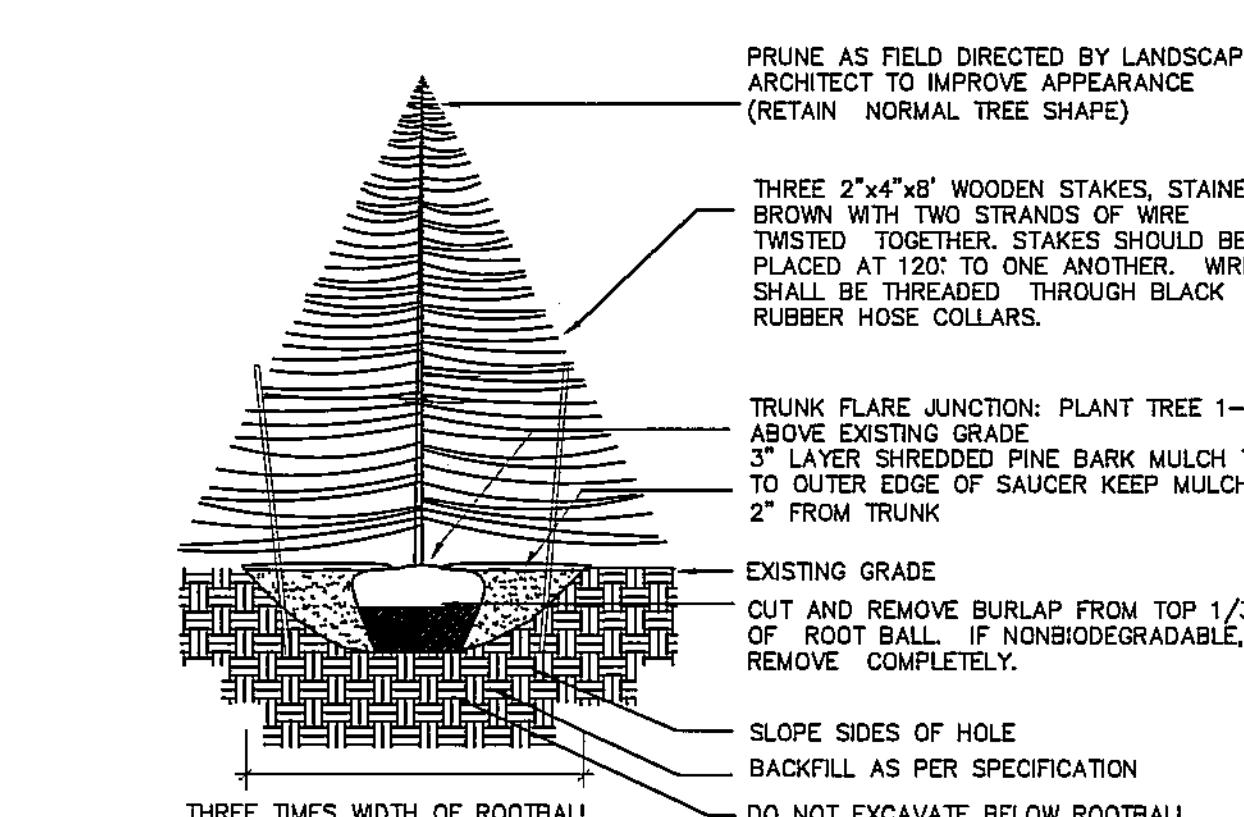
- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED, WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 12" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND /OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

INDUSTRIAL & COMMERCIAL DISTRICTS LANDSCAPING REQMTS.

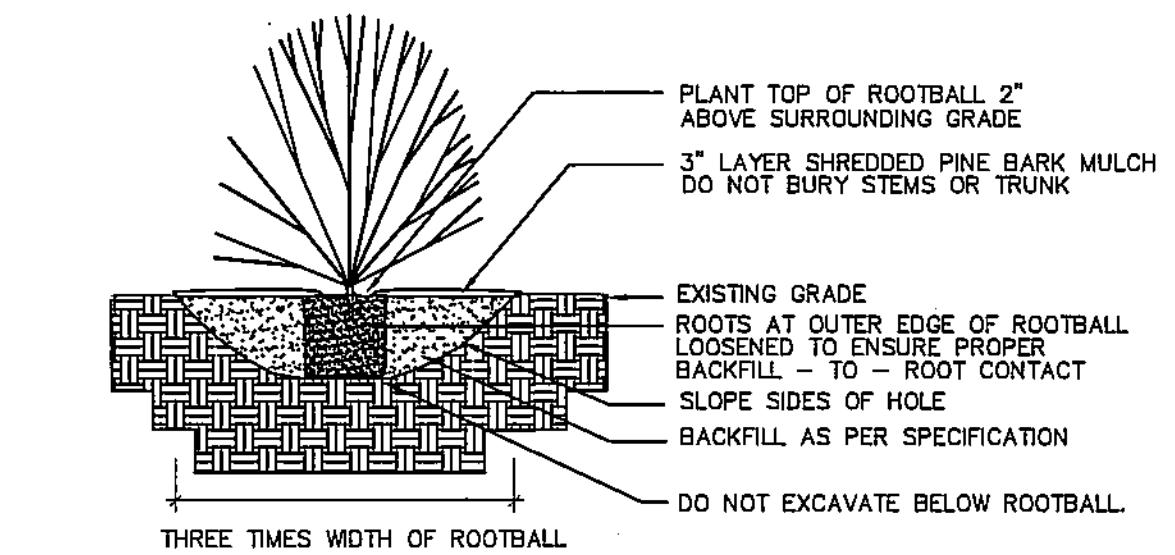
SECTION	REQUIRED	PROVIDED
242-501J.3(a) STREET-SIDE STRIPS YARD BUFFER		
(1) 2-1/2" SHADE TREE/50 LF	175'/50 LF = 4 SHADE TREE	4 SHADE TREES
(2) 2" UN-STY. TREE/SHADE TREE	(2)4 UNIT = 8 UN-STY.TREE	8 UNDERSTORY TREES
(6) 24"-30" SHRUB/SHADE TREE	(6)4 UNIT = 24 SHRUB	24 SHRUBS
242-501J.3(b) FRONT, SIDE AND REAR YARDS		
(1) 2-1/2" SHADE TREE/1500 SF	(1)SF/1500 SF = (1) SH. TREES	N/A
242-501J.3(c) BUILDING SEPARATION STRIPS		
(4) 24"-30" SHRUB/10 LF	(4)(64) LF/10 = (26) SHRUBS	30 SHRUBS
(1) 3" DIAM. PLANTER/10 LF (OR)	(1) LF/10 = (1) PLANTER	
242-501J.3(d) RESIDENTIAL PERIMETER STRIP		N/A
(1) PLANT UNIT/100 LF	(1) LF/100 = (1) PLANT UNIT	
(4) 2-1/2" SHADE TREES/UNIT	(4)(1) UNIT = (1) SHADE TREE	
(6) 2" UN-STY.TREES/UNIT	(6)(1) UNIT = (1) UN-STY. TREE	
(24) 24"-36" SHRUB/UNIT	(24)(1) UNIT = (1) SHRUB	
(12) 6" EVGN. TREE/UNIT	(12)(1) UNIT = (1) EVGN. TREE	
242-501J.3(e) PARKING LOT AREAS		
40% GROSS PARK'G	(4)(9,742 S.F. = 3,897 S.F.	4,000 S.F. or 41%
(1) 10'x20' END ISLAND		
(1) 2-1/2" SHADE TREE/END ISLE.	4 END. ISLE. = 4 SHADE TREE	4 SHADE TREES
(1) 10'x10' SEPARATION STRIP	(10F.T.)(10 F.T.)= 1,100 S.F.	N/A
(1) 2-1/2" SHADE TREE/25 LF	(1) LF/25' = (1) TREE	
(1) 10'x10' DIVIDER ISLAND		N/A
(1) 2-1/2" SHADE TREE/25 LF	(1) LF/25' = (1) TREE	
(1) 24"-30" SHRUB/10 LF	(1) LF/10 = (1) SHRUB	
(1) 10'x20' INTER. ISLAND PARK'G ROW >20 SPACES	(1) ISLE = (1) TREE	1 SHADE TREE



DECIDUOUS TREE PLANTING  
DETAIL  
NOT TO SCALE



EVERGREEN TREE PLANTING  
DETAIL  
NOT TO SCALE



SHRUB PLANTING  
DETAIL  
NOT TO SCALE

PROPOSED PLANTING SCHEDULE

SYM	BOTANICAL-NAME	COMMON-NAME	SIZE	ROOT	QTY
<b>CANOPY TREES</b>					
AS	<i>Acer saccharum</i>	'Fall Fiesta' Sugar Maple	2.5" Cal	B&B	4
QR	<i>Quercus robur</i>	'Skymaster' Oak	2.5" Cal	B&B	4

EVERGREEN TREES

CN	<i>Chamaecyparis nootkatensis</i>	'Pendula'	Weeping Alaskan Cedar	6'-7' Ht.	B&B	2
PA	<i>Picea abies</i>	'Kwanzan'	Cherry	2' Cal	B&B	5

UNDERSTORY TREES

CK	<i>Cornus kousa</i>	'Satomi'	Dogwood	2" Cal	B&B	4
PS	<i>Prunus 'Kwanzan'</i>	'Kwanzan'	Cherry	2" Cal	B&B	4

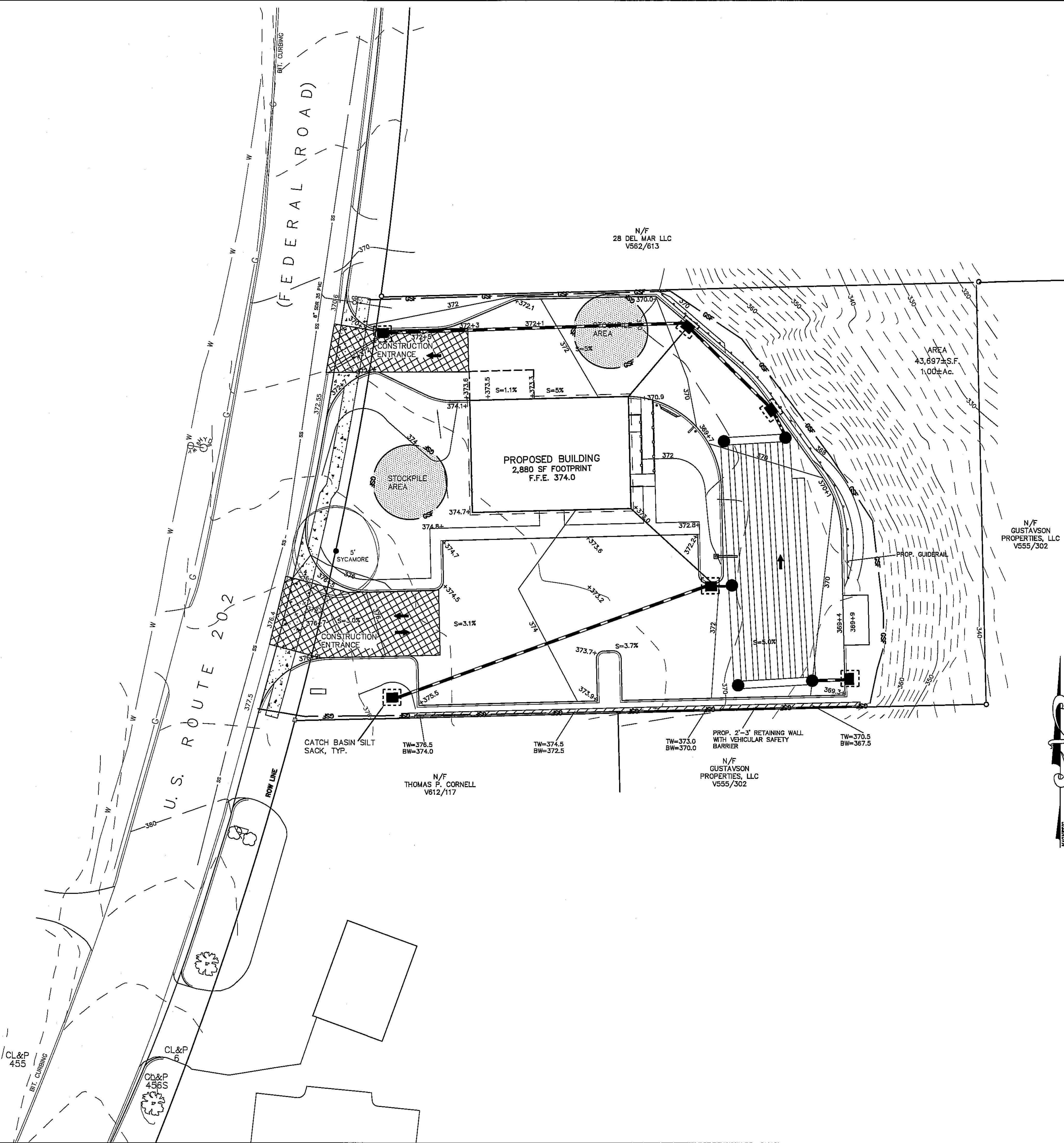
SHRUBS

AZ	<i>Azalea 'Mountain Creeper'</i>	'Mountain Creeper'	Azalea	3 Gal.	Cont.	8
BG	<i>Buxus x 'Green Mountain'</i>	'Green Mt. Boxwood'	Spreading Boxwood	30"-36" Ht.	Cont.	21
DG	<i>Daphne gracilis</i>	'Daphne'	Deutzia	2 Gal.	Cont.	8
HV	<i>Hammamelis virginiana</i>	'Diane'	Witchhazel	10 Gal.	Cont.	1
HM	<i>Hydrangea macrophylla</i>	'Blushing Bride'	Bigleaf Hydrangea	5 Gal.	Cont.	6
HMo	<i>Hydrangea macrophylla</i>	'Pink Elf'	Bigleaf Hydrangea	2 Gal.	Cont.	8
HP	<i>Hydrangea paniculata</i>	'Pinky Winky'	Hydrangea	5 Gal.	Cont.	1
IC	<i>Ilex crenata</i>	'Steeds'	Upright Holly	5 Gal.	Cont.	5
RP	<i>Rubus 'Pum'</i>	'Pum'	Rhodo.	3 Gal.	Cont.	4
RxP	<i>Rosa x 'Pink Double Knockout'</i>	'Knockout'	Rose	3 Gal.	Cont.	12
SxG	<i>Syringa x 'Sensation'</i>	'Sensation'	Double Knockout	5 Gal.	Cont.	6
SxT	<i>Syringa x 'Wendy's Wish'</i>	'Wendy's Wish'	Lilac	5 Gal.	Cont.	6
WF	<i>Weigela florida</i>	'Wine & Roses'	Weigela	5 Gal.	Cont.	8
VC	<i>Viburnum carlesii</i>	'Compactum'	Koreanspice Viburnum	3 gal.	Cont.	4
VI	<i>Viburnum dentatum</i>	'Blue Muffin'	Viburnum	3 Gal.	Cont.	10
VP	<i>Viburnum plicatum</i>	'Mariesii'	Doublefile Viburnum	4'-5' Ht.	B&B	2

FINE LAWN GRASS SEED MIX  
30% MERION KENTUCKY BLUE GRASS  
40% KENTUCKY BLUE GRASS  
20% PENLAWN RED FESCUE  
10% ANNUAL RYEGRASS

NOTE:  
ALL DISTURBED AREAS & THOSE AREAS NOT PLANTED WITH TREES OR SHRUBS TO BE LOAMED & SEADED, TYP.

03/04/14	REMOVE COURTYARD
Date	Revision
LANDSCAPE PLAN	
PREPARED FOR	
ECB REALTY, LLC	
337 FEDERAL ROAD	
BROOKFIELD, CONNECTICUT	
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CCA - CIVIL - ENVIRONMENTAL - ENGINEERING SURVEYING LLC	
40 Old New Milford Road Brookfield, CT 06804 (203)775-5207	
33 Village Green Drive Litchfield, CT 06859 (860)567-3179	



03/14/14 REMOVE COURTYARD  
Date Revision

# EROSION CONTROL PLAN

PREPARED FOR  
**ECB REALTY, LLC**

337 FEDERAL ROAD  
BROOKFIELD, CONNECTICUT

#### EROSION & SEDIMENTATION CONTROL PLAN AND CONSTRUCTION SEQUENCE

- VALIDITY AND PROJECT DESCRIPTION:
  - This document is to be considered an integral part of the plans prepared for the project by CCA, LLC. The procedures outlined herein are to be strictly followed during construction.
  - PROJECT DESCRIPTION: The project consists of the demolition of the existing greenhouse building in order to construct a Dunkin' Donuts building with a footprint of 2,880 square feet. Please refer to the site development plans for additional information.
- START AND COMPLETION DATES:
  - APPENDIX A: Construction: Spring 2014
  - ESTIMATED TIME TO COMPLETE: Approx. 12 months. The above dates are subject to receipt of all required permits, and contractor scheduling. The Engineer and Sediment Control Officer shall be provided with updated schedules as they become available.

#### GENERAL CONSTRUCTION SEQUENCES

- Obtain all required permits.
- Notify "Call Before You Dig" for utility marking as necessary.
- Install sediment fence at top of proposed slopes and as shown on the plans. Take particular care to install sediment fence adjacent to the property boundaries; install tie bales as shown.
- Install tracking pads.
- Construct drainage structures at catch basins and drainage structures once structures are installed.
- Maintenance of erosion control to occur at all times during construction.
- Remove all brush and trees within the proposed areas to be developed including slope areas.
- Remove and stockpile topsoil from disturbed areas.
- Topsoil to be seeded with annual rye grass seed.
- Install topsoil.
- Start installation at level ground and work up gradient.
- Excavate as necessary to install drainage system and prepare base as shown on plans.
- Install all piping and structures as shown on the plans.
- Connect piping and structures to catch basins and drainage structures once structures are installed.
- Contractor is responsible to contact "Call Before You Dig" as soon as possible.
- Temporary stabilization measures to occur at all times.
- Final Site Stabilization:
  - Fine grade slopes and disturbed areas.
  - Install topsoil on disturbed areas and fertilize seed and mulch.
  - Install landscaping in accordance with approved landscaping plans.
  - Removal of the sedimentation controls.
  - Any remaining disturbed areas to be reseeded and mulched.

#### GENERAL REQUIREMENTS

- Any disturbed areas to be stabilized by topsoil, seeding, and mulching as soon as practical. Care to be taken in project areas not indicated on the plans to be disturbed.
- Erosion controls shall be placed at locations specified and maintained until all sloped and other disturbed areas are stabilized.
- Additional control measures shall be installed during construction, if necessary, to minimize erosion.
- The property owner shall be responsible for the implementation and maintenance of all controls and proper disposal of sediment from them.
- Erosion and sedimentation control be constructed in accordance with 2002 Connecticut Guidelines for Erosion and Sediment Control.
- If at any time, ownership of the project is transferred to others, the new owners shall notify all contractors and the engineer and designate a responsible person in charge.

#### CONTROL MEASURE SELECTION PROCESS:

- Erosion is caused by soil movement, water movement and sediment movement. The objective of the erosion and sediment control plan is to prevent off-site sedimentation damage. The steps involved in the erosion control selection process are as follows:

- Identify control problem
- Identify problem area
- Identify required strategy
- Identify control measure group
- Select specific control measure
- Use basic methods used to control erosion are soil stabilization, runoff control and sediment control. A brief description of these three methods proposed in order to minimize off-site sedimentation damage.
- SOIL MOVEMENT:** Soil movement is created by sheet erosion, fill erosion and wind erosion. **PROBLEM AREAS:** Soil Movement occurs on slopes, exposed areas and travel areas. Sheet and fill erosion on steep, exposed, non-vegetated slopes can produce significant erosion especially during major rain storms. Wind erosion on roads and slopes under construction can present problems during dry periods.
- REQUIRED STRATEGY:** Protection of the surface is the most effective method of controlling soil movement.
- CONTROL MEASURE GROUP:** Control measure group consist of vegetative soil covers, hydroseeding, topsoil, and environmental enhancement.
- SPECIFIC CONTROL MEASURE:**
  - Outlet Protection (OP) is required at the point of discharge for all culverts.
  - Rip rap (RR) is proposed for the final stabilization in the inlet and outlet of all storm drainage pipes and culverts.
  - Temporary or permanent diversion (DV) to direct water to drainage or other storm drainage.
- SEDIMENT MOVEMENT:** Sediment Movement is created by water or wind forces causing soil particles to move which in turn can affect off-site areas if not properly contained.
- PROBLEM AREAS:** Problem areas are both small and large water bodies, travel areas and borrow and stockpile areas.
- REQUIRED STRATEGY:** Strategies for control of water movement include directing runoff, conveying runoff, stabilizing slopes, intercepting groundwater stabilizing steep slopes and watercourses.
- CONTROL MEASURE GROUP:** Control Measure Group consists of diversions, waterways, sediment diversion, sediment trapping, and stabilization structures.
- SPECIFIC CONTROL MEASURE:**
  - Outlet Protection (OP) is required at the point of discharge for all culverts.
  - Rip rap (RR) is proposed for the final stabilization in the inlet and outlet of all storm drainage pipes and culverts.
  - Temporary or permanent diversion (DV) to direct water to drainage or other storm drainage.

- WATER MOVEMENT:** Water movement can create gully erosion, channel and stream erosion. Controlling water movement can protect on and off site areas.
- PROBLEM AREAS:** Problem areas consist of drainage ways, water courses, and steep, loose soil areas.
- REQUIRED STRATEGY:** The strategies for control of water movement include directing runoff, conveying runoff, stabilizing slopes, intercepting groundwater stabilizing steep slopes and watercourses.

- CONTROL MEASURE GROUP:** Control Measure Group consists of diversions, waterways, sediment diversion, sediment trapping, and stabilization structures.
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- SEDIMENTATION MOVEMENT:** Sediment Movement is created by water or wind forces causing soil particles to move which in turn can affect off-site areas if not properly contained.
- PROBLEM AREAS:** Problem areas are both small and large water bodies, travel areas and borrow and stockpile areas.
- REQUIRED STRATEGY:** Strategies for controlling sediment movement consist of trapping sediment, directing runoff, controlling sediment and filtering sediment.
- CONTROL MEASURE GROUP:** The control measure groups are sediment control, mud and dirt control, sediment filters and sediment basins.
- SPECIFIC CONTROL MEASURES:**
  - Dust Control (DC): Driveways and haul roads to be paved as necessary to control sediment and prevent dust during dry weather conditions. Paved driveways are to be swept of accumulated sand and dirt as necessary to prevent sediment movement. Other disturbed areas to be sprayed with water and/or mulched during dry periods.
  - Construction Entrance (CE): The construction entrance location is the proposed driveway unless otherwise indicated on the plan. The entrance should be constructed as specified as on the plans.
  - Sediment Barriers (CT) and Silt Curtain (SC): The use of sediment barriers and silt curtains are specified on the plans at the bottom of all proposed slopes.
  - Sediment Basin (SB): The sediment basin should be constructed as specified on the plans. Maintenance to occur as required.

- MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS:**
  - All erosion and sedimentation controls to be checked weekly and repaired as necessary.
  - Prior to the time of any forecasted rainfall, all erosion and sedimentation controls to be checked and necessary repairs made.
  - All silt to be removed from erosion and sedimentation controls as necessary and/or prior to any construction activities.
  - Construction entrance to be cleaned and/or reconstructed as required.
  - All removed silt to be properly disposed of outside of roadway areas. Any disposed silt to be immediately seeded with annual rye grass and mulched.
  - After all disturbed areas are stabilized and approval to remove erosion and sedimentation controls have been obtained from the Town, the erosion and sedimentation controls can be removed. All disturbed areas to be reseeded.
  - It is suggested that a formal log be kept of all erosion and sedimentation control inspection including the removal of any trapped silt.
  - Temporary controls to consist of seeding with annual rye grass. Hay mulch or other approved methods shall be used if season will not permit grass to germinate.

- PLANTING SCHEDULE:**
  - Type of grass seed to be used shall conform to Chapter 5 of the 2002 Connecticut Guidelines for Soil Erosion and Sedimentation Control ("ESC") for each type of condition encountered. temporary seeding should be done within two (2) days of ground disturbance.
  - Initial fertilization and method of installation for all plantings should conform to the "ESC".
  - Planting rates should conform to "ESC" for temporary and permanent grass seeds and all other plantings.
  - Maintenance of all seeded and planted areas to conform with the requirements of the "ESC".
  - All seeded areas are to be maintained and areas which cannot be planted, all disturbed areas to be mulched as soon as possible.
  - During those times of the year when seed cannot be planted, all disturbed areas to be mulched in accordance with Chapter 5 of the "ESC" and be seeded as soon as the seeding dates permit.
  - Every effort shall be made to seed disturbed areas during the earliest planting period.

- GRADING NOTES:**
  - A grading plan shall be performed to eliminate low points and depressions which would trap surface water. Contact the design engineer if changes are warranted.
  - Fill under all parking, driveway and sidewalk areas to be adequately compacted.
  - All backfill for buildings, trenches, structures, etc. Shall be adequately compacted to prevent excessive settlement. Contact the engineer should additional compaction be necessary.
  - Minor grading changes are permitted to meet field conditions provided prior approval is obtained from the engineer.
  - Proposed grading shall maintain existing runoff conditions.

**CATCH BASIN FILTERS**

- Temporary catch basin filters will be utilized to prevent the deposition of sediment into the storm sewer system prior to the stabilization of exposed areas with vegetation and/or pavement.
- These filters will consist of tightly bound, pin-anchored haybales embedded four inches below grade, surrounding each catch basin inlet.
- Installation and maintenance:
  - Place annual soil catch basin inlet prior to paving or stabilization with vegetation.
  - Sediment shall be removed from the filters when sediment has accumulated to 50% of the filter's original height.

#### NOTES:

- BOUNDARY & TOPOGRAPHIC DATA BY CCA, LLC.
- VERTICAL DATUM IS BASED ON NGVD 1929 DATUM.
- PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, CONNECTICUT, PANEL 130, SHEET 625, EFFECTIVE DATE JUNE 18, 2010.
- CONTRACTOR IS TO STABILIZE ALL OTHER AREAS IN BROOKFIELD AND STATE OF CONNECTICUT REGULATIONS REGARDING CONSTRUCTION IS REQUIRED TO BEGIN UPON RECEIPT OF PERMIT.
- ALL UTILITIES TO BE INSTALLED UNDERGROUND AND IN THE LOCATIONS AS TO BE DETERMINED BY EACH UTILITY COMPANY.
- ALL RETAINING WALLS OVER 3' IN HEIGHT ARE TO BE DESIGNED AND CONSTRUCTED UNDER THE SUPERVISION OF A STATE OF CT LICENSED PROFESSIONAL ENGINEER.
- NO WOOD RETAINING WALLS OVER 3' IN HEIGHT ARE ALLOWED.
- UNDERGROUND UTILITIES, STRUCTURES, AND FACILITIES NOT FIELD LOCATED. THE SIZE, LOCATION, EXISTENCE OR DISCREPANCY OF THESE ITEMS SHALL BE DESIGNED AND VERIFIED BY THE APPROPRIATE AUTHORITIES. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455.
- SPARE SLOPES ON SIDEWALKS SHALL BE A MIN. OF 1/4' PER FOOT FROM BUILDING.
- THE ENRICH CONTROL LINE (GSP) IS THE LIMIT OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- PROPER TRAFFIC SIGNAGE AND MARKINGS SHALL BE THE RESPONSIBILITY OF AND MAINTAINED BY THE OWNER HOURS OF OPERATION FOR ALL EARTH EXCAVATION/PLACEMENT TO OCCUR IN ACCORDANCE WITH TOWN OF BROOKFIELD ZONING REGULATIONS.
- NO LIGHTING IS TO BE DIRECTED OUTSIDE THE PROPERTY LIMITS.
- HAZARDOUS MATERIALS (CLEANING SOLVENTS) STORAGE TO BE IN CONFORMANCE WITH SECTION 242-502.2 OF THE BROOKFIELD ZONING REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING REQUIRED PERMITS AND NOTIFYING THE TOWN DEPARTMENTS AND THE ENGINEER FOR INSPECTIONS.
- METHODS OF CONSTRUCTION SHALL MEET TOWN OF BROOKFIELD AND CONNECTICUT D.O.T. STANDARDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ON-SITE AND OFF-SITE FIELD CONDITIONS AND VERIFY THAT NO CHANGES WHICH CONFLICT WITH THIS PLAN. THE DESIGN ENGINEER IS TO BE NOTIFIED OF ANY CHANGES WHICH CONFLICT WITH THIS PLAN.
- ALL CATCH BASINS, MANHOLES, PIPING AND OTHER UTILITY COMPONENTS SHALL BE CAPABLE OF SUPPORTING H-20 TRAFFIC LOADING.
- ALL DRAINAGE PIPE SHALL BE CPEP-S, CORRUGATED POLYETHYLENE PIPE WITH A SMOOTH INTERIOR.

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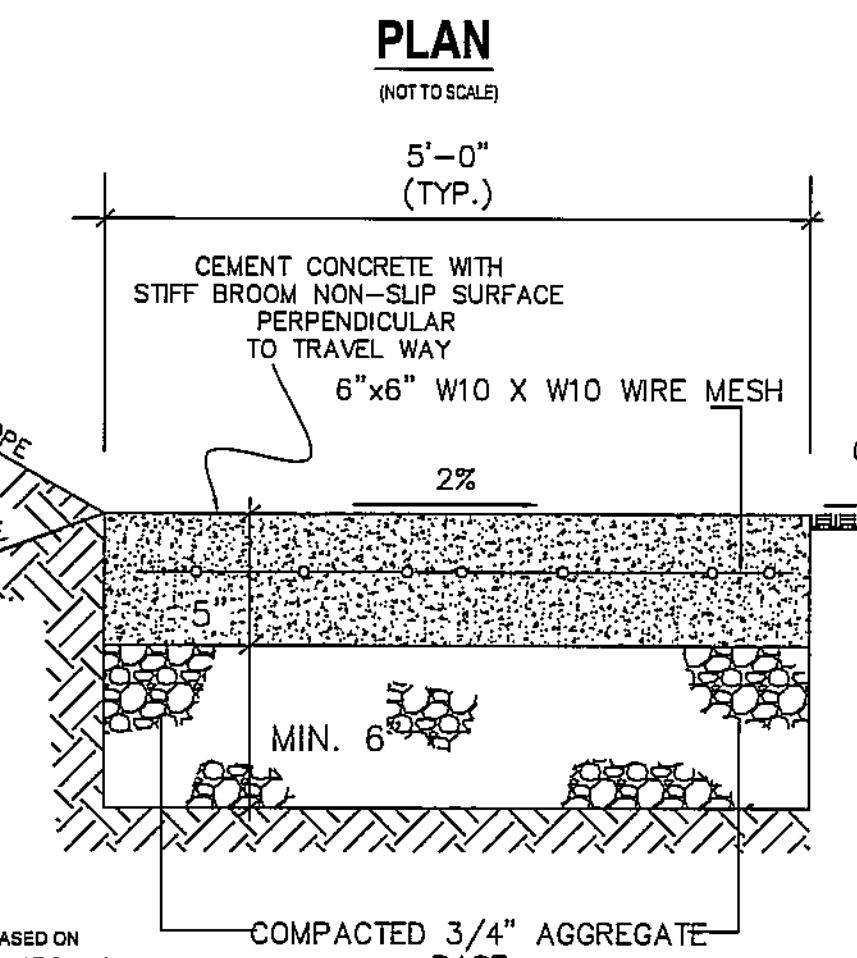
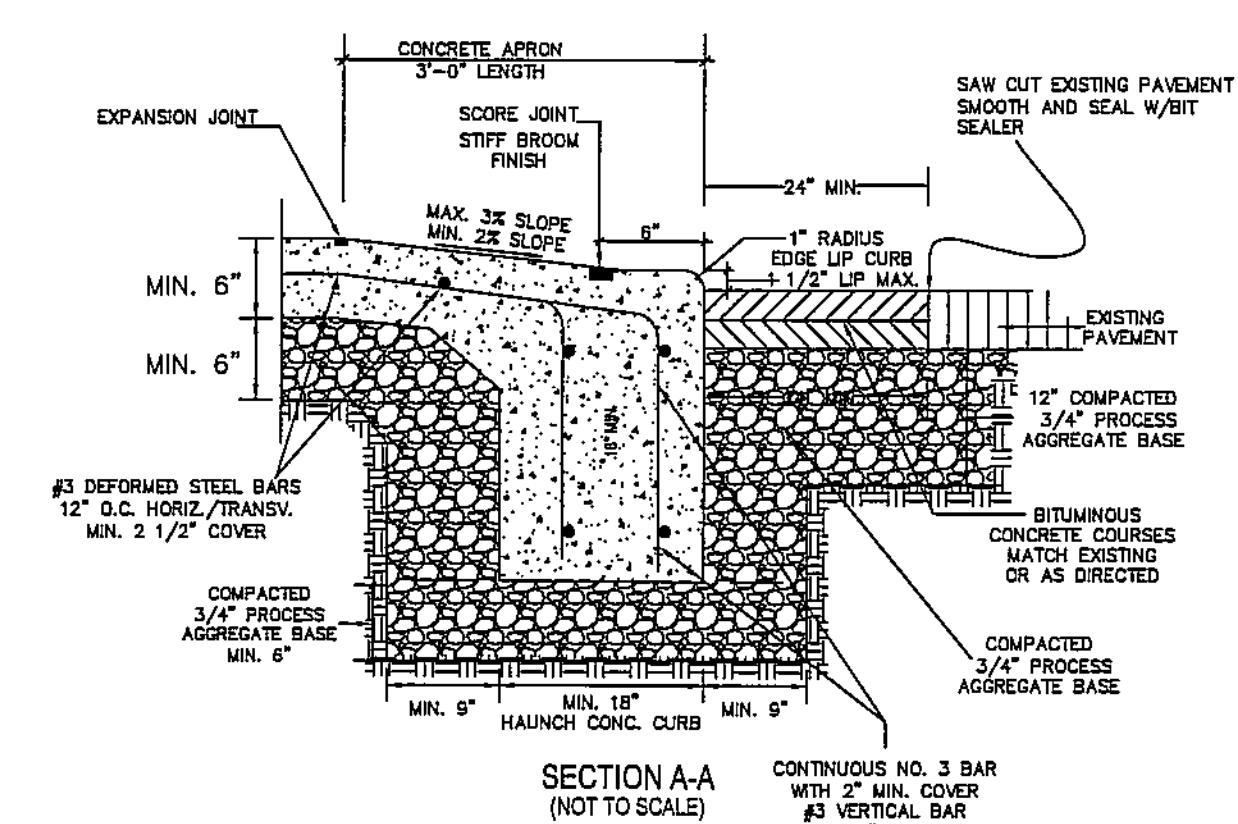
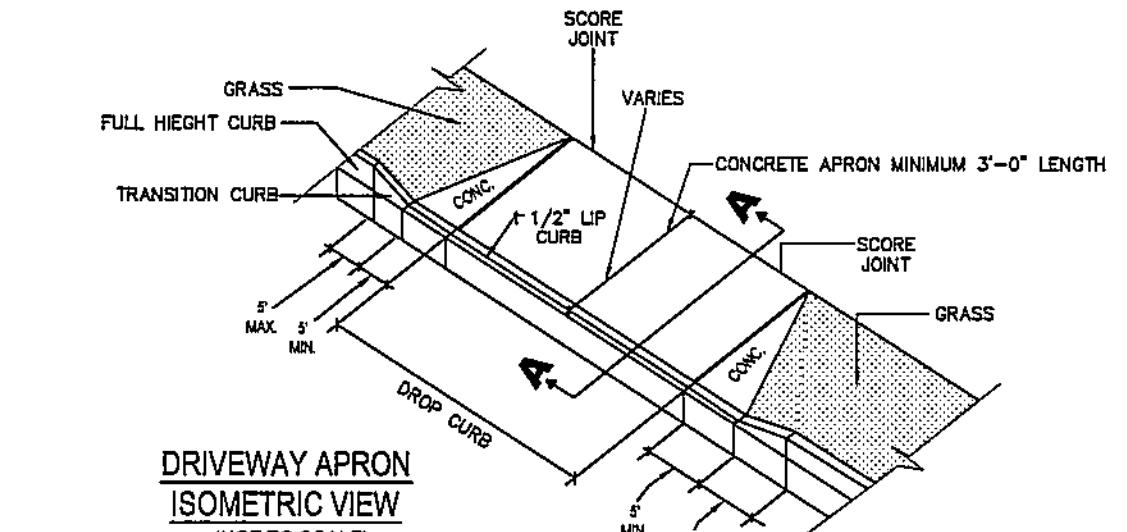
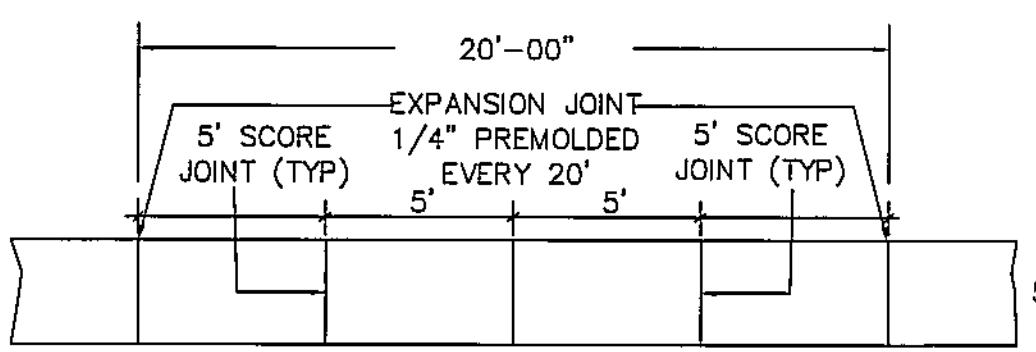
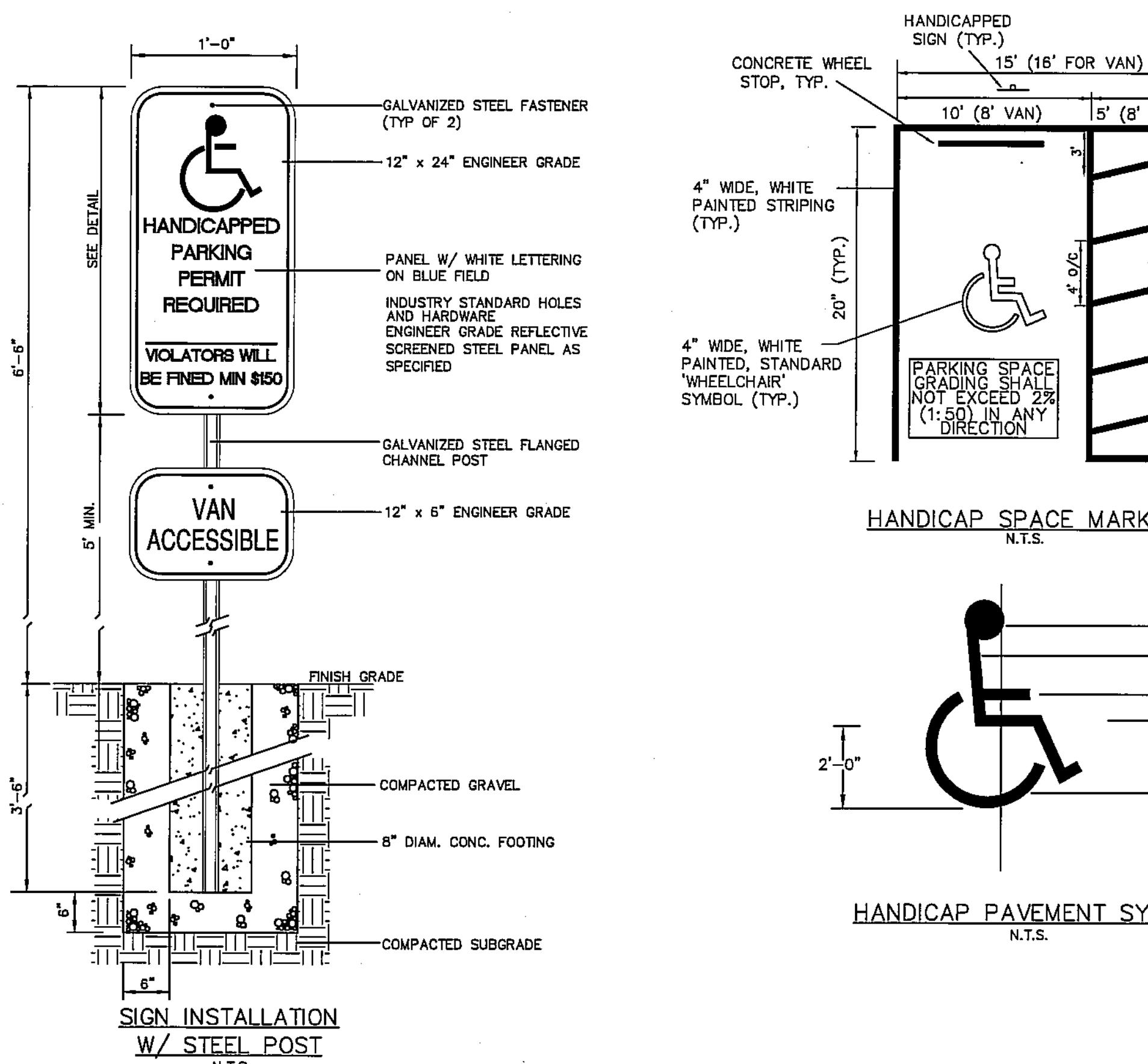
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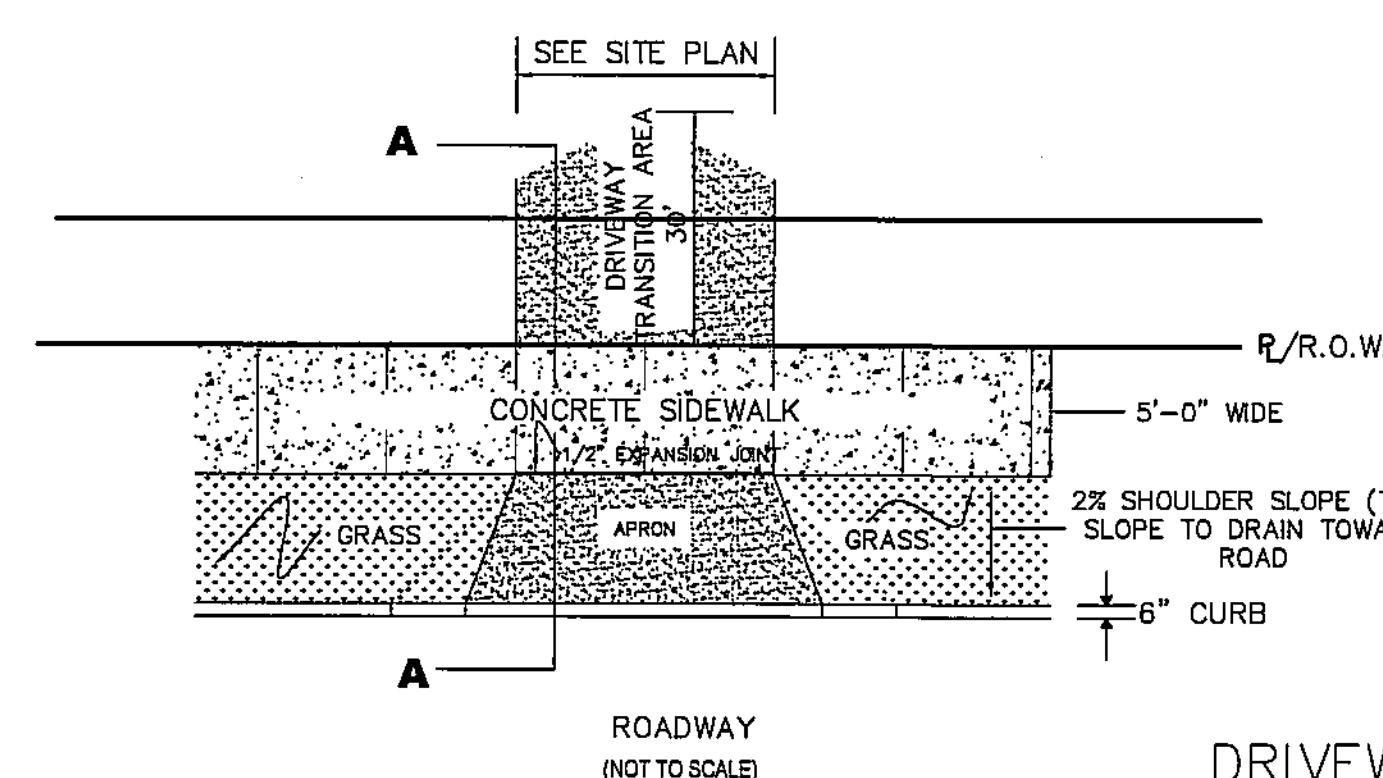
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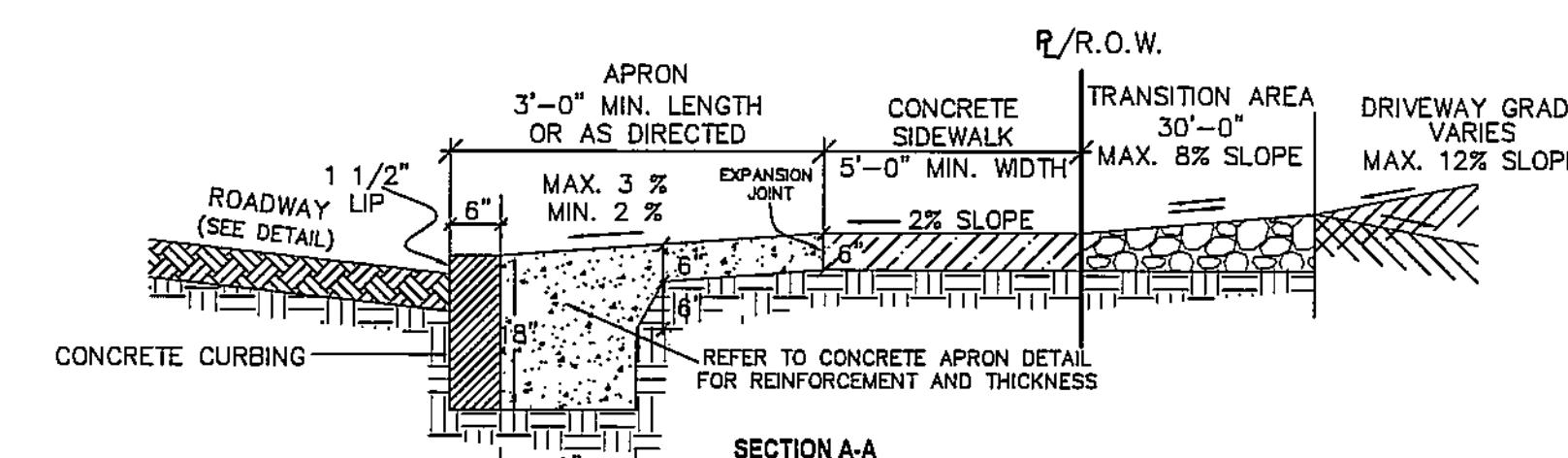
### SIDEWALK CROSS SECTION

NOTE: (NOT TO SCALE)  
1. 4500 PSI CONCRETE MIX DESIGN. A SALTGUARD PROTECTIVE COMPOUND (CONSOLIDECK SALTGUARD WB OR EQUAL) SHALL BE APPLIED TO ALL CONCRETE SIDEWALKS, HANDICAPPED RAMPS, DRIVEWAY APRONS AND CURBS.  
2. ALL SIDEWALKS MIN. 5" DEPTH WITH THE EXCEPTION WHERE TRAFFIC CROSSED TO BE 6" IN DEPTH.

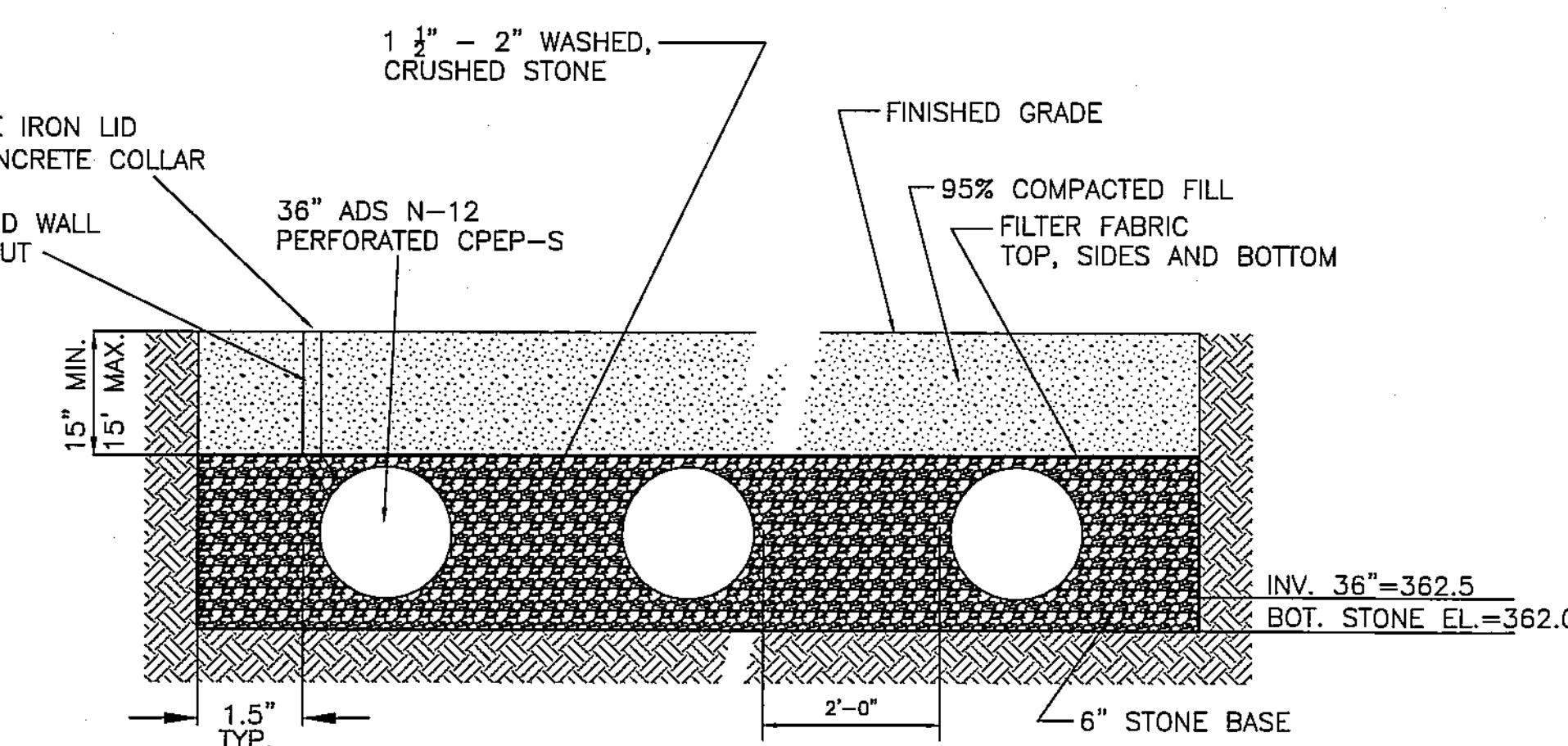
## SIDEWALK DETAIL



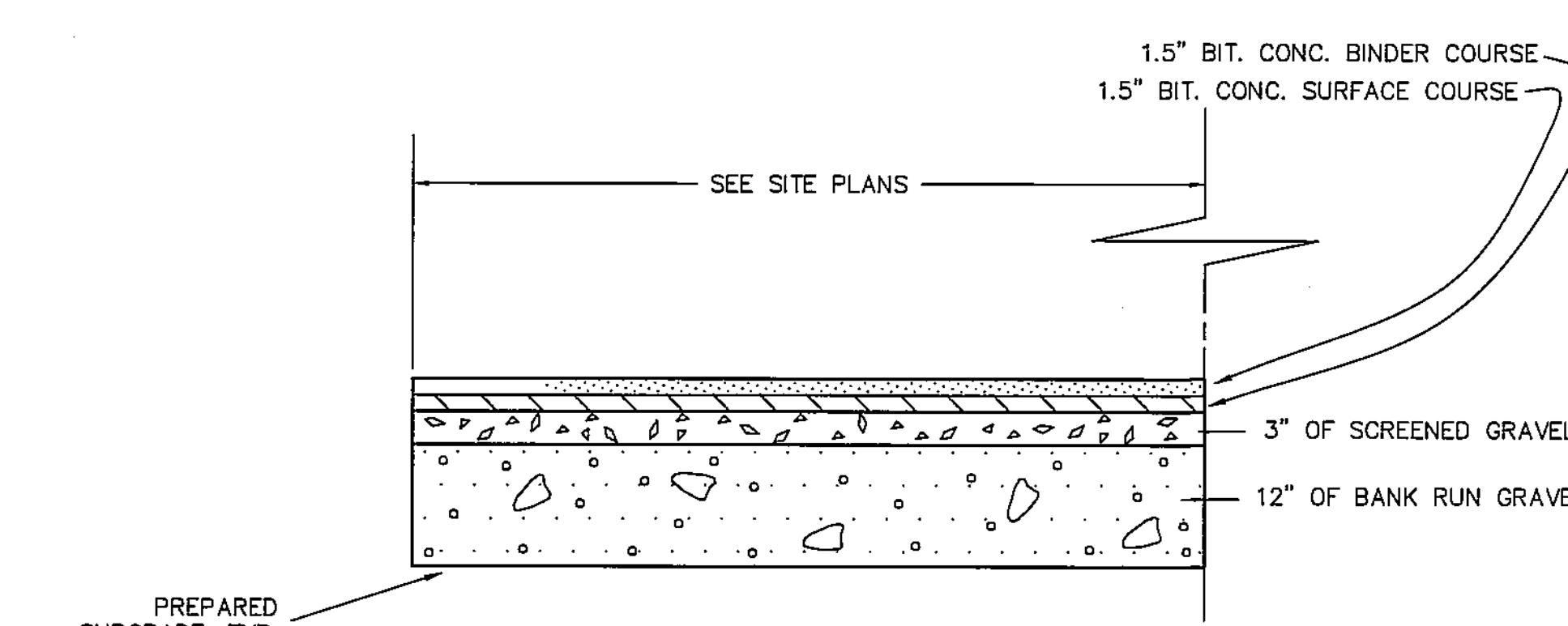
## DRIVEWAY DETAIL WITH SIDEWALK



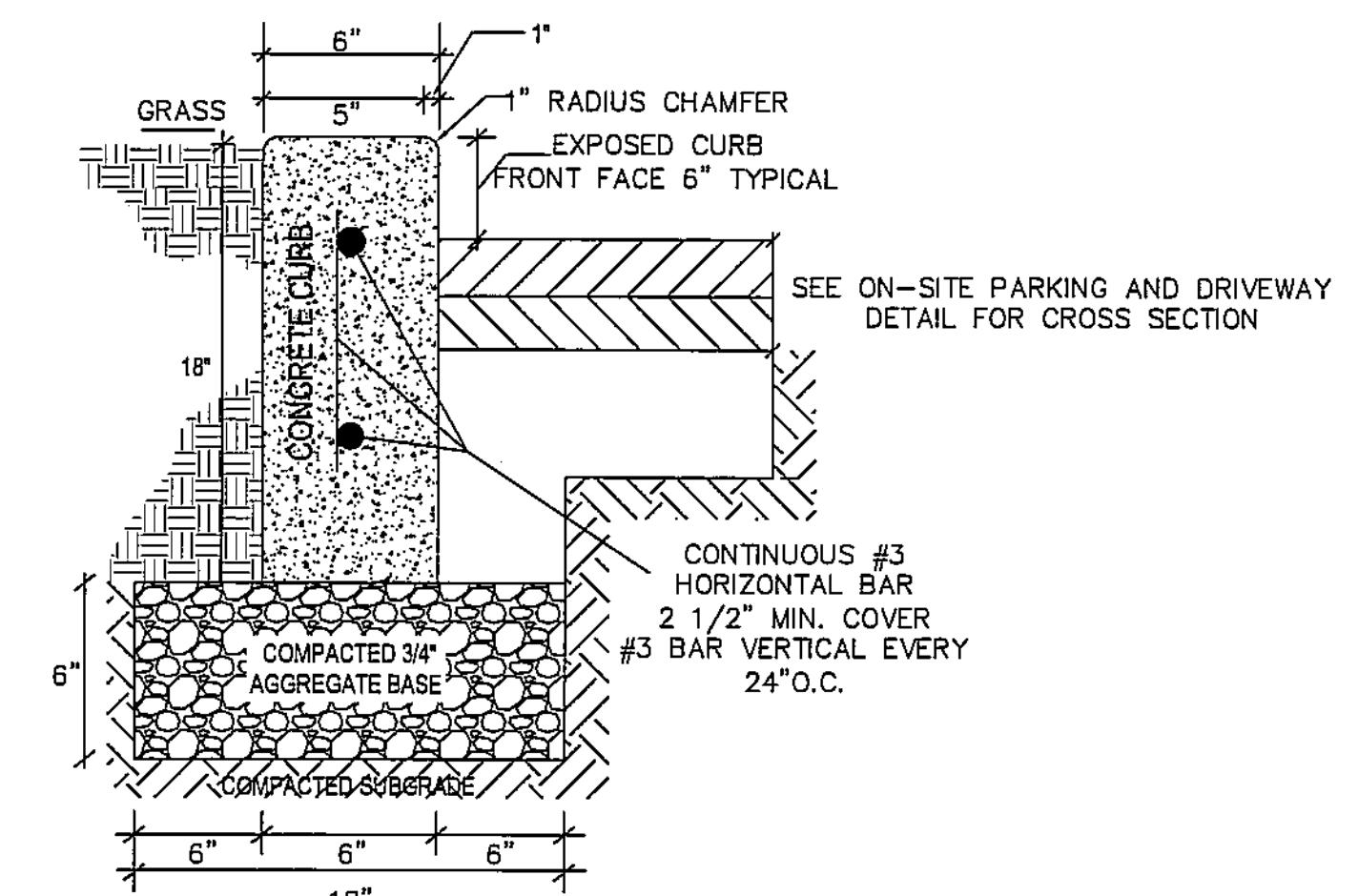
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2. ALL SIDEWALKS MIN. 5" DEPTH WITH THE EXCEPTION WHERE TRAFFIC CROSSED TO BE 6" IN DEPTH



## TYPICAL CROSS SECTION RETENTION SYSTEM



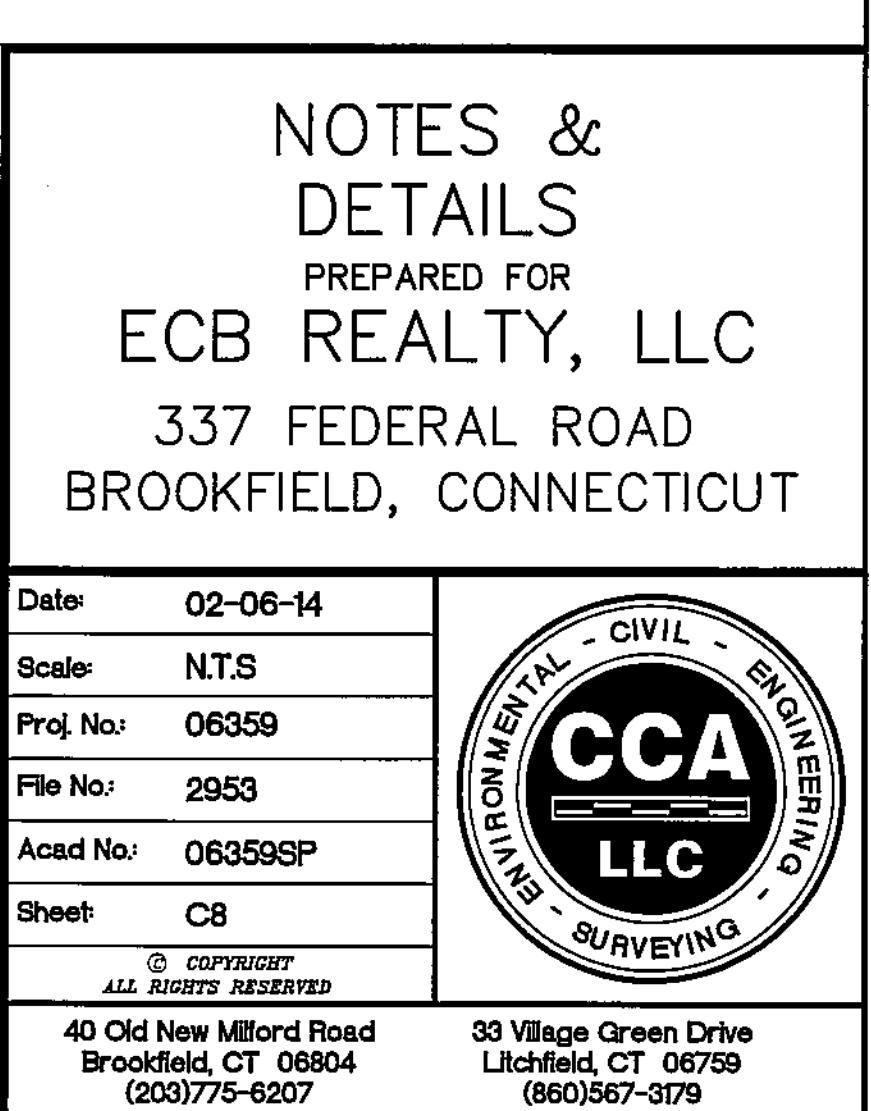
**ON-SITE PARKING AND DRIVEWAY DETAILS**



**CORD**  
(NOT TO SCALE)

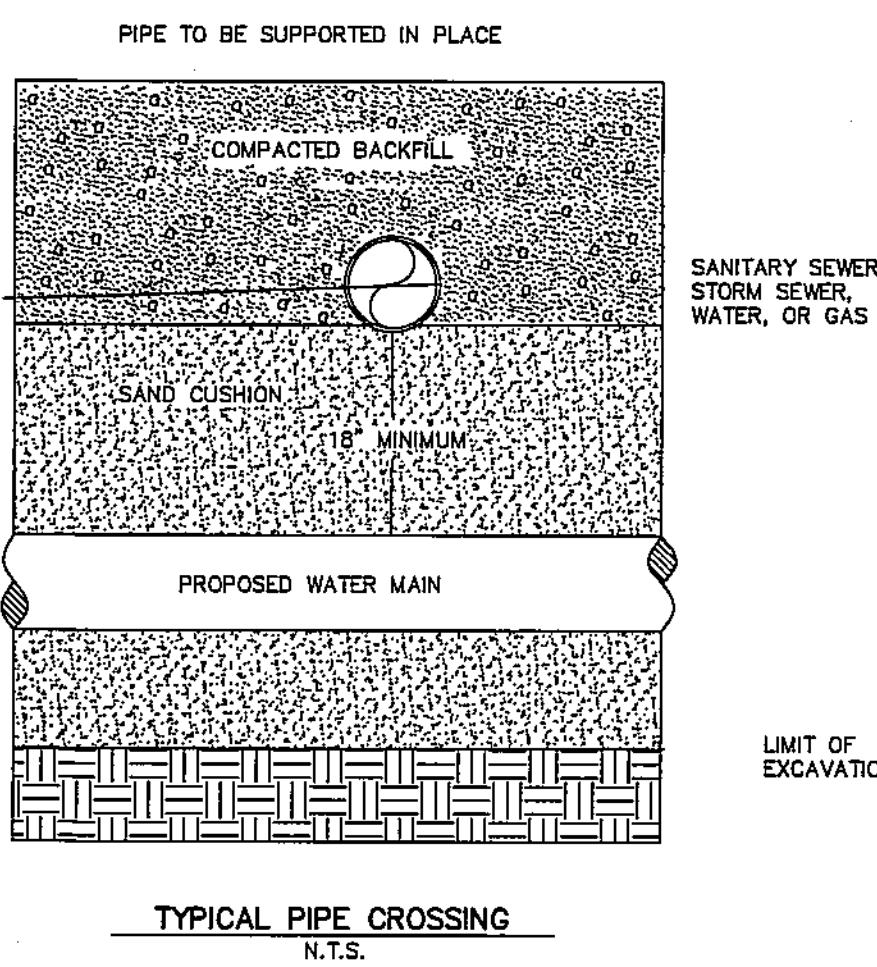
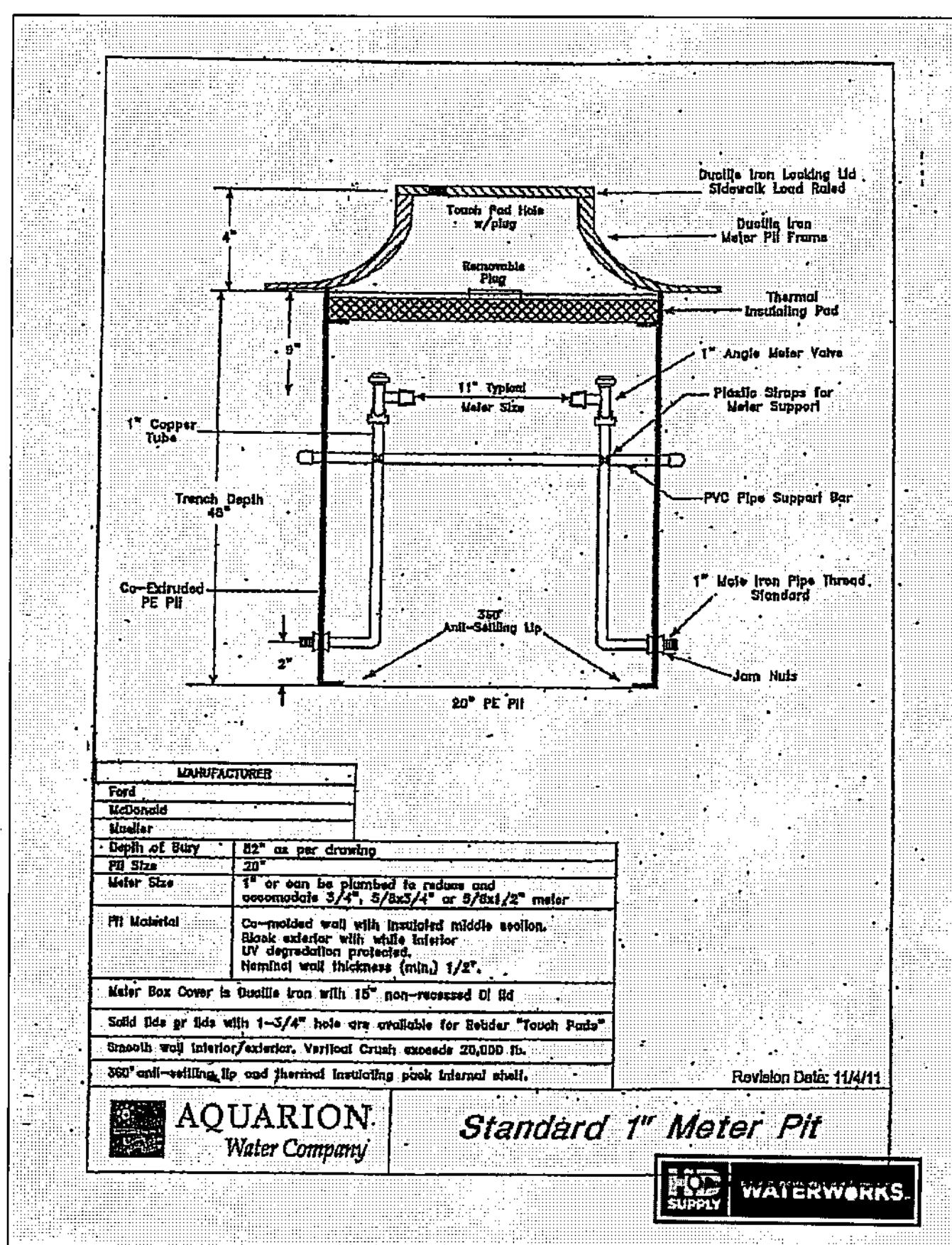
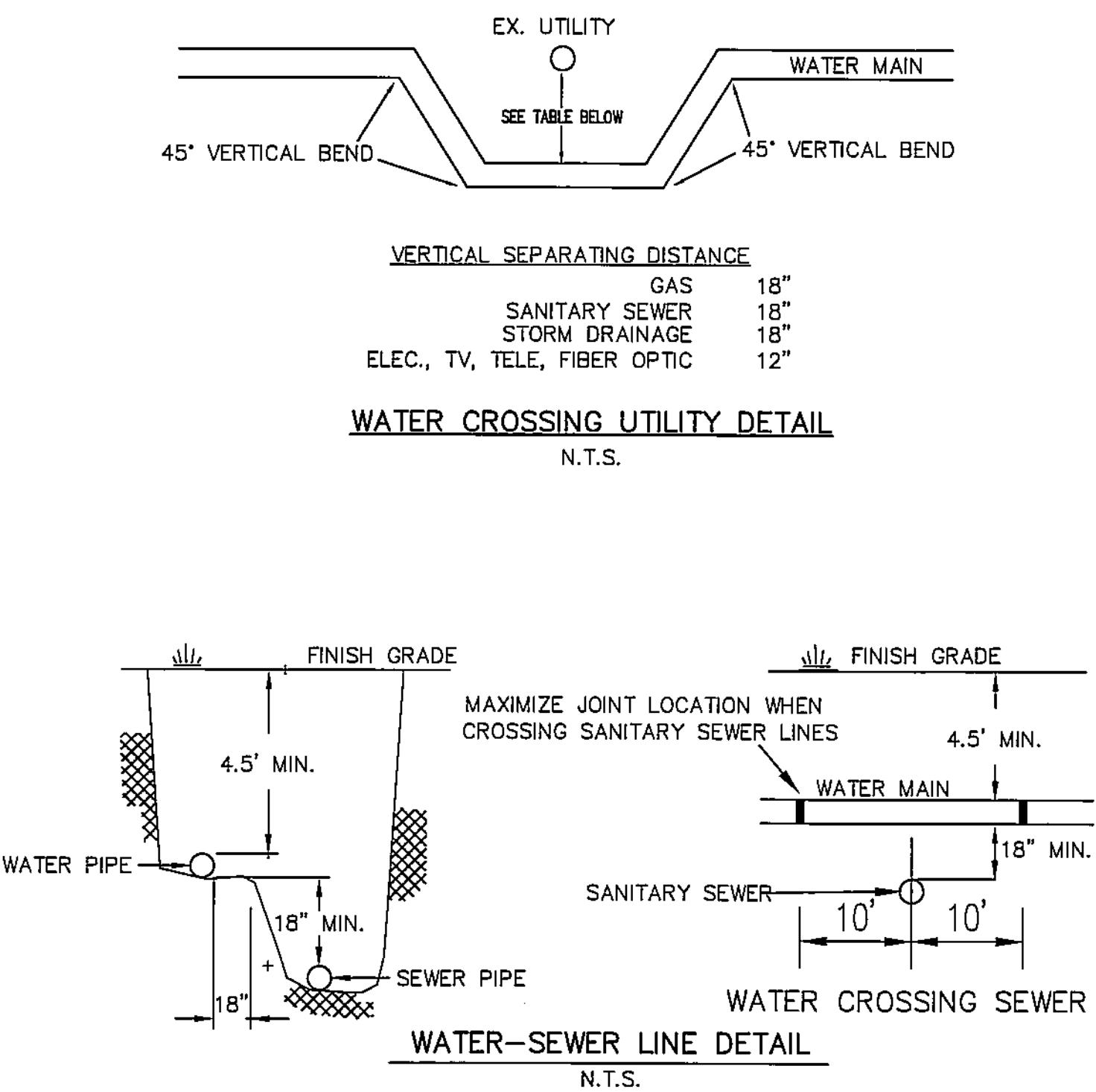
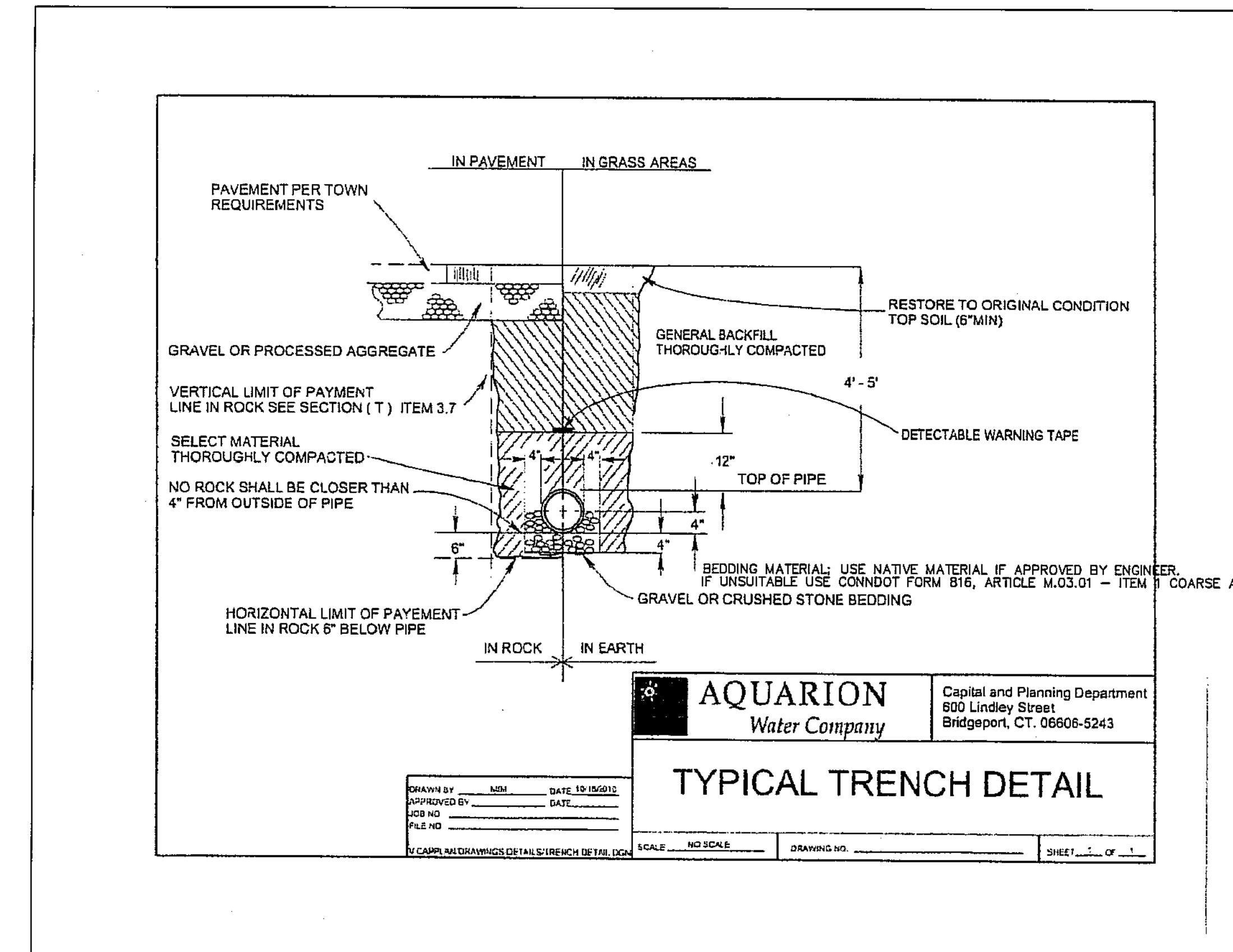
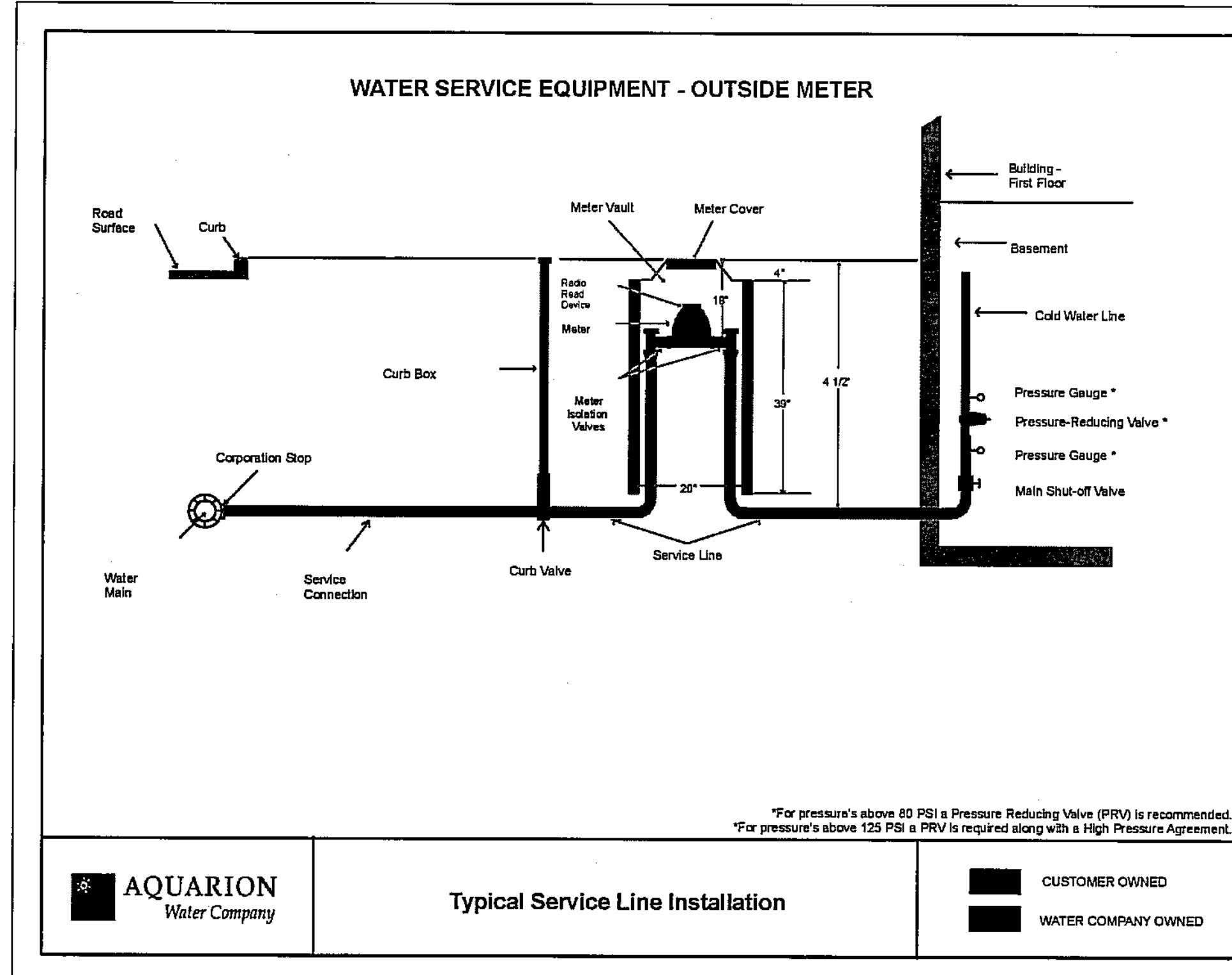
NOTE: 1. 4500 PSI CONCRETE MIX DESIGN. A SALTGUARD PROTECTIVE COMPOUND (CONSOLIDECK SALTGUARD WB OR EQUAL) SHALL BE APPLIED TO ALL CONCRETE SIDEWALKS, HANDICAPPED RAMPS, DRIVEWAY APRONS AND  
CUPPERS.

## CONCRETE CURB DETAIL



NOTES &  
DETAILS  
PREPARED FOR  
ECB REALTY, LLC  
337 FEDERAL ROAD  
BROOKFIELD, CONNECTICUT





**NOTES & DETAILS**  
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337 FEDERAL ROAD  
BROOKFIELD, CONNECTICUT

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