

DUNKIN' DONUTS

PREPARED FOR
ECB REALTY, LLC

337 FEDERAL ROAD
BROOKFIELD, CONNECTICUT

OWNER:

ECB REALTY, LLC
C/O ED BASTISTA
21 EQUESTRIAN RIDGE
NEWTOWN, CT 06470

APPLICANT/DEVELOPER:

ECB REALTY, LLC
C/O ED BASTISTA
21 EQUESTRIAN RIDGE
NEWTOWN, CT 06470

ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT



40 OLD NEW MILFORD ROAD
BROOKFIELD, CONNECTICUT

FEBRUARY 6, 2014

LIST OF DRAWINGS

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Ed Bastista
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DATE REVISION

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ABBREVIATIONS

APPROX	APPROXIMATE
BF	BASEMENT FLOOR
BM	BENCHMARK
BOLC	BITUMINOUS CONCRETE LIP CURB
BLDG	BUILDING
CIP	CAST IRON PIPE
CB	CATCH BASIN
CD	CURTAIN DRAIN
Ch	CHORD
CLL	CONSTRUCTION LIMIT LINE
CONC	CONCRETE
CONST	CONSTRUCT
CMP	CORRUGATED METAL PIPE
CPEP-S	CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR
CULV	CULVERT
DOT	DEPARTMENT OF TRANSPORTATION
DB	DISTRIBUTION BOX
DMH	DRAINAGE MANHOLE
DH	DEEP HOLE
DR	DRIVEWAY
DIP	DUCTILE IRON PIPE
EOP	EDGE OF PAVEMENT
ELEC	ELECTRIC
ELEV	ELEVATION
EXIST, EX	EXISTING
EG	EXISTING GRADE
FE	FLARED END
FF	FIRST FLOOR
FG	FINISH GRADE
FND	FOUNDATION
GPD	GALLONS PER DAY
GAR	GARAGE
GND	GROUND
GSF	GEOTEXTILE SILT FENCE
GV	GAS VALVE
HW	HEADWALL
HC	HANDICAP
HWY	HIGHWAY
HYD	HYDRANT
IN	INLET
INV	INVERT
IP	IRON PIPE
L	LENGTH
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
MAX	MAXIMUM
MET	METAL
MBR	METAL BEAM RAIL
MIN	MINIMUM
MISC	MISCELLANEOUS
MON	MONUMENT
NO	NUMBER
OUT	OUTLET
P-#	PERCOLATION TEST
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
PV	PERMANENT VEGETATION
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PVRC	POINT OF VERTICAL REVERSE CURVE
PVC	POLYVINYL CHLORIDE PIPE
PROJ	PROJECT
PL	PROPERTY LINE
PROP, PR	PROPOSED
PS	PUMP STATION
R	RADIUS
RR	RAILROAD
RCP	REINFORCED CONCRETE PIPE
RELOC	RELOCATION
REQ'D	REQUIRED
RET	RETAINING
ROW	RIGHT OF WAY
RD.	ROAD
RD	ROOF DRAIN
SAN	SANITARY
SSMH	SANITARY SEWER MANHOLE
ST	SEPTIC TANK
SPEC	SPECIFICATION
SPK	SPIKE
STK	STAKE
STD	STANDARD
STA	STATION
SW	STONE WALL
SS	SANITARY SEWER
STY	STORY
ST.	STREET
TAN	TANGENT
TEL	TELEPHONE
TEMP	TEMPORARY
TF	TOP OF FRAME
U-DRAIN	UNDER DRAIN
VERT	VERTICAL
WV	WATER VALVE
W/	WITH
YD	YARD DRAIN

GENERAL LEGEND

PROPERTY LINE	
EXISTING MONUMENT	
EXISTING IRON PIN OR PIPE	
PROPOSED IRON PIN OR PIPE	
PROPOSED MONUMENT	
DRILL HOLE	
STONE BOUND	
UTILITY POLE W/ANCHOR	
EASEMENT LINE	
CHAIN FENCE	
WOOD FENCE	
STONE WALL	
WIRE FENCE	
CATCH BASIN	
LIGHT POLE	
BLDG. SETBACK LINE	
WATERCOURSE	
FLOODWAY	
FLOODPLAIN	
EXISTING CONTOUR	
PROPOSED CONTOUR	
PROPOSED TEST PIT	
PERCOLATION TEST	
EXISTING SPOT ELEVATION	
PROPOSED SPOT ELEVATION	
LOT NUMBER	
STREET NUMBER	
TREE LINE	
GEOTEXTILE SILT FENCE (GSF)	
FLAGGED WETLANDS	
SOIL BOUNDARY	
ROCK OUTCROP	
CONSTRUCTION LIMIT LINE	
HAY BALES (HB)	
FOOTING DRAIN (F)	
ROOF DRAIN (R)	
PRIMARY SEPTIC SYSTEM AREA	
RESERVE SEPTIC SYSTEM AREA	
SOLAR ACCESS	

GUIDE RAIL	
EXISTING CURB	
GRAVEL ROAD	
EXISTING MANHOLE	
EXISTING STORM DRAINAGE MANHOLE	
EXISTING SANITARY SEWER MANHOLE	
EXISTING WATER VALVE	
EXISTING GAS VALVE	
EXISTING FIRE HYDRANT	
EXISTING SIGN	
HANDICAP PARKING SPACE	
HANDICAP RAMP	
REFUSE AREA	
EXISTING WELL	
TRAFFIC FLOW DIRECTION	
MONITORING WELL	
SWALE, GRADE TO DRAIN	
EXISTING RETAINING WALL	
PROPOSED RETAINING WALL	
RAILROAD TRACKS	
RIPRAP PAD	
EXIST. GAS MAIN	
EXIST. WATER MAIN	
EXIST. WATER SERVICE	
EXIST. TELEPHONE LINE	
EXIST. ELECTRIC SERVICE	
EXIST. LEVEL 3 COMMUNICATION LINE	
EXIST. FIBER OPTIC LINE	
EXIST. SANITARY SEWER	
EXIST. SANITARY SEWER LATERAL	
EXIST. DRAINAGE	
PROPOSED FIRE HYDRANT	
PROPOSED WELL	
PROPOSED GAS VALVE	
PROPOSED WATER VALVE	
SCREENED REFUSE AREA	
PROPOSED CATCH BASIN	
PROPOSED MANHOLE	
PROPOSED LAWN DRAIN	
PROPOSED LIGHT POLE (DOUBLE)	
PROPOSED LIGHT POLE (SINGLE)	
PROPOSED BUILDING LIGHT	
START / END CURBING	
TEMPORARY SWALE	
PROPOSED FIRE LANE	
PROPOSED GAS MAIN	
PROPOSED ELECTRIC SERVICE	
PROPOSED TELEPHONE LINE	
PROPOSED AIR VENT OR BLOW-OFF	

GENERAL NOTES

- ALL WORK TO MEET TOWN OR CITY, STATE AND FEDERAL CODES, REGULATIONS AND STANDARDS AS APPLICABLE.
- DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY FOR RESOLUTION.
- ALL PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING REQUIRED PERMITS AND NOTIFYING THE TOWN OR CITY DEPARTMENTS AND THE ENGINEER FOR INSPECTIONS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET CONNECTICUT D.O.T. STANDARDS FOR ITEMS NOT SPECIFIED IN THE TOWN OR CITY REGULATIONS.
- ALL CATCH BASINS, MANHOLES, PIPING AND OTHER UTILITY COMPONENTS WITHIN TRAFFIC AREAS SHALL BE CAPABLE OF SUPPORTING H-20 LOADING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL ON-SITE AND OFF-SITE FIELD CONDITIONS AND VERIFY THAT NO CHANGES HAVE OCCURRED SINCE THE ISSUANCE OF THIS PLAN. THE DESIGN ENGINEER IS TO BE NOTIFIED OF ANY CHANGES WHICH CONFLICT WITH THIS PLAN.
- THE EROSION CONTROL LINE (GSF) IS TO BE CONSIDERED AS THE LIMIT OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND QUANTITIES SHOWN ON THESE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WHOM SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS TO CONSTRUCT BY.
- STRICT ADHERENCE TO ALL OSHA, TOWN OR CITY AND STATE OF CONNECTICUT REGULATIONS REGARDING CONSTRUCTION IS REQUIRED AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY CALL-BEFORE-YOU-DIG (1-800-922-4455) FOR UTILITY MARKOUT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR JOB SAFETY.
- ALL UTILITIES TO BE INSTALLED UNDERGROUND.
- UTILITY LOCATIONS WILL BE AS DETERMINED BY THE UTILITY COMPANIES.
- THE LOCATION AND ELEVATION OF UNDERGROUND UTILITIES IS UNKNOWN. IF THEY ARE INDICATED AT ALL ON THESE PLANS, THEY ARE APPROXIMATE AND OCA, LLC, ITS PRINCIPALS OR EMPLOYEES, SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES AND/OR ADDITIONAL COSTS WHICH MIGHT RESULT FROM THE EXISTENCE OF SAID UTILITIES.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL GRADING SHALL BE PERFORMED TO ELIMINATE LOW POINTS AND DEPRESSIONS WHICH WOULD TRAP SURFACE WATER. CONTACT THE DESIGN ENGINEER IF CHANGES ARE WARRANTED.
- GRADING TO BE TO ALL APPLICABLE REGULATIONS AND NORMAL STANDARDS OF GOOD PRACTICE.
- MINOR GRADING CHANGES ARE PERMITTED TO MEET FIELD CONDITIONS PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE ENGINEER.
- GRADING SHALL MAINTAIN EXISTING RUNOFF CONDITIONS.
- ALL BACKFILL FOR BUILDINGS, TRENCHES, STRUCTURES, PARKING, DRIVEWAY AND SIDEWALK ETC. SHALL BE ADEQUATELY COMPACTED TO PREVENT EXCESSIVE SETTLEMENT. CONTACT THE ENGINEER SHOULD ADDITIONAL CLARIFICATION BE NECESSARY.
- CONTRACTOR TO MATCH INTO EXISTING CONDITIONS AT ALL POINTS WHERE CONSTRUCTION MUST MATCH SUCH EXISTING CONDITIONS.
- ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED SO THAT THEY MAY BE ADJUSTED DOWN AT LEAST 12".

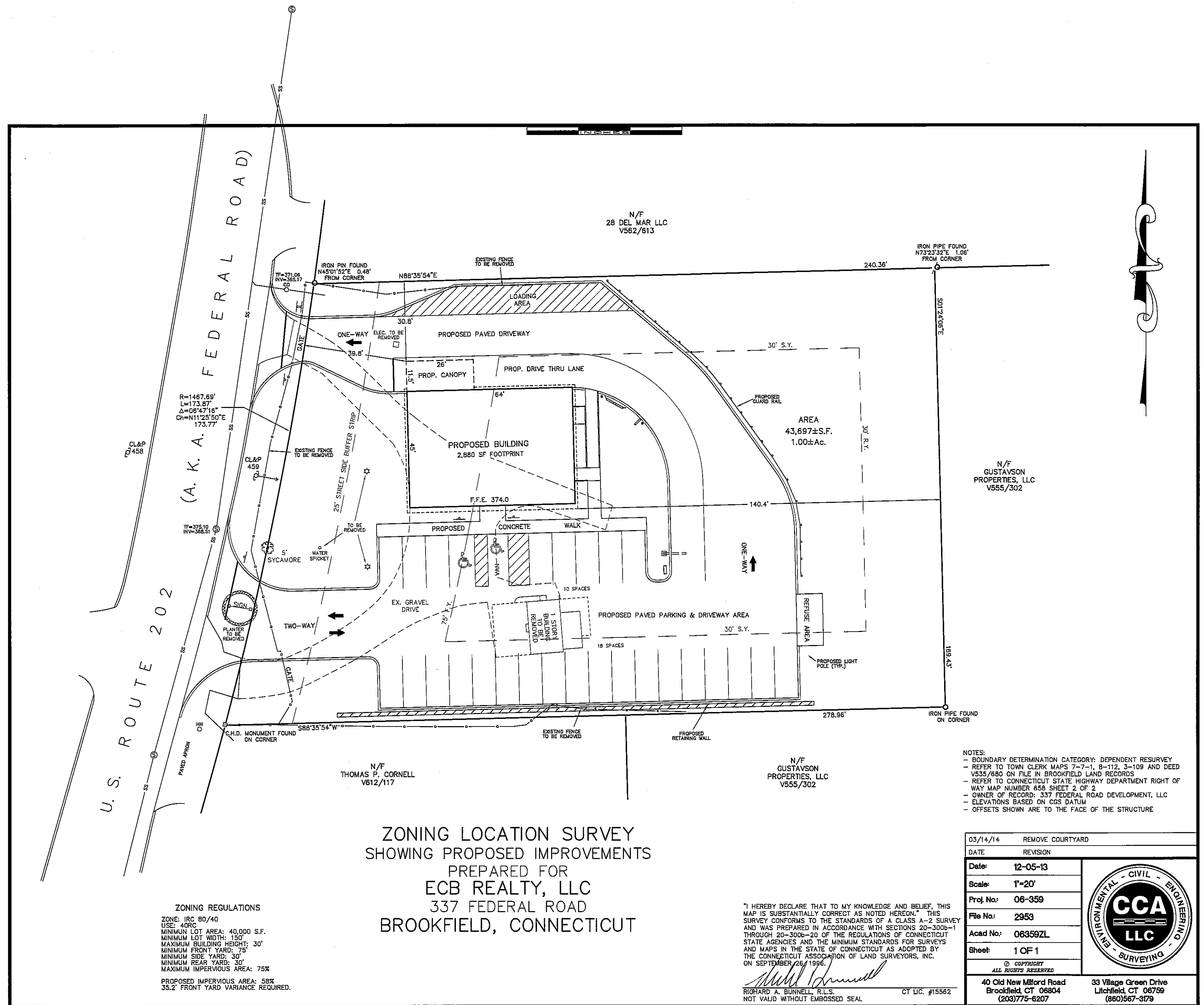
GENERAL
LEGEND, NOTES
AND ABBREVIATIONS

Date:	JUNE 2012
Scale:	N.T.S.
Proj No:	GENERAL
File No:	STD.
Acad No:	GENERAL
Sheet:	NI



40 Old New Milford Road
Brookfield, CT 06804
(203)775-6207

33 Village Green Drive
Litchfield, CT 06759
(860)567-3179



ZONING REGULATIONS
ZONE: IRC 80/40
USE: AGRIC
MINIMUM LOT AREA: 40,000 S.F.
MINIMUM LOT WIDTH: 150'
MINIMUM BUILDING HEIGHT: 30'
MINIMUM FRONT YARD: 75'
MINIMUM SIDE YARD: 30'
MINIMUM REAR YARD: 30'
MINIMUM IMPERVIOUS AREA: 75%
PROPOSED IMPERVIOUS AREA: 58%
35.2' FRONT YARD VARIANCE REQUIRED.

ZONING LOCATION SURVEY
SHOWING PROPOSED IMPROVEMENTS
PREPARED FOR
ECB REALTY, LLC
337 FEDERAL ROAD
BROOKFIELD, CONNECTICUT

"I HEREBY DECLARE THAT TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON." THIS SURVEY CONFORMS TO THE STANDARDS OF A CLASS A-2 SURVEY AND WAS PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THROUGH 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES AND THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
RICHARD A. BUNNELL, R.L.S. CT LIC. #15562
NOT VALID WITHOUT EMBOSSED SEAL

- NOTES:
- BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY
- REFER TO TOWN CLERK MAPS 7-7-1, 8-112, 3-109 AND DEED V535/680 ON FILE IN BROOKFIELD LAND RECORDS
- REFER TO CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP NUMBER 658 SHEET 2 OF 2
- OWNER OF RECORD: 337 FEDERAL ROAD DEVELOPMENT, LLC
- ELEVATIONS BASED ON CGS DATUM
- OFFSETS SHOWN ARE TO THE FACE OF THE STRUCTURE

03/14/14	REMOVE COURTYARD
DATE	REVISION
Date:	12-05-13
Scale:	1"=20'
Proj. No:	06-359
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Acad No:	063592L
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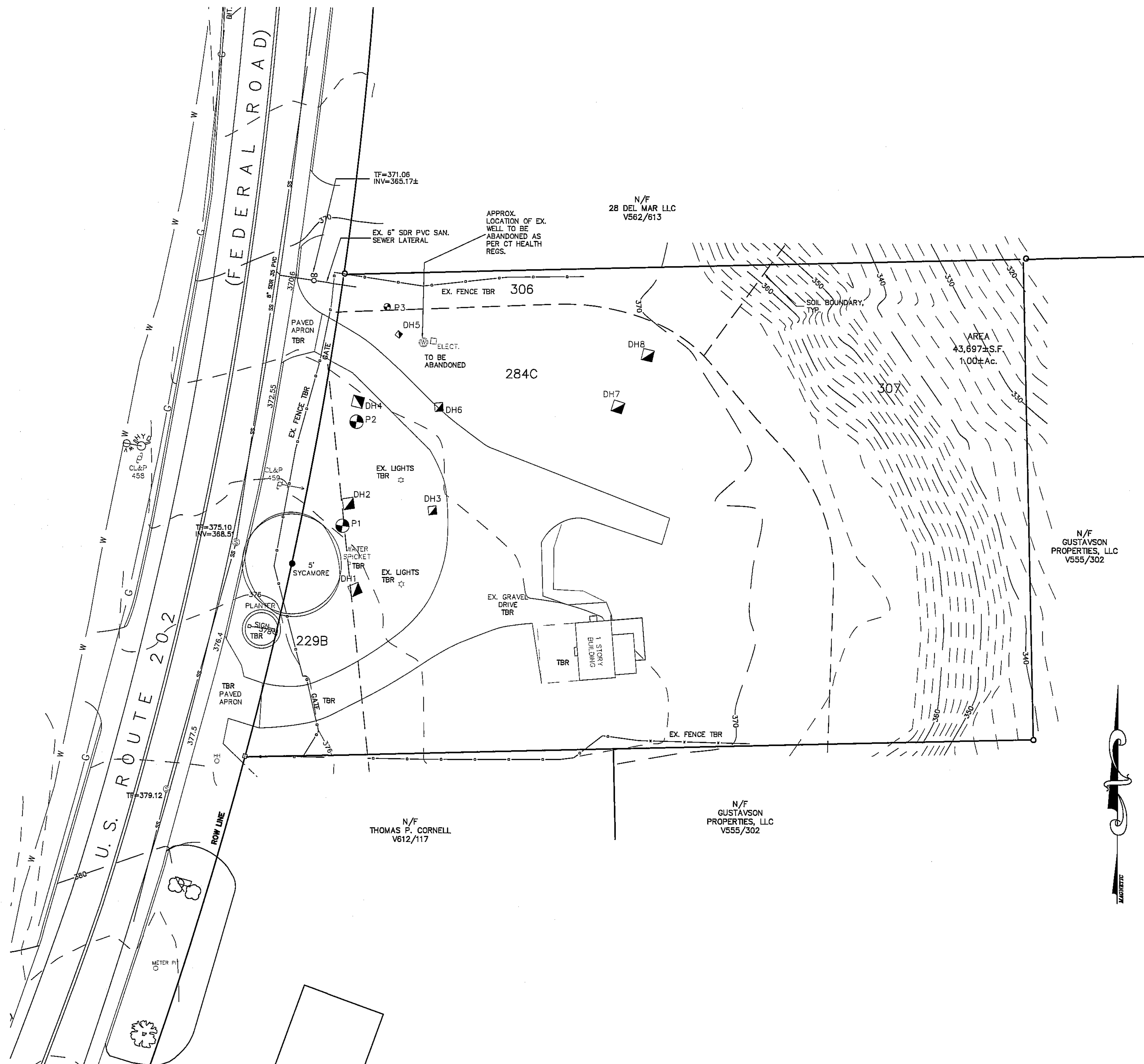


LEGEND	
PROPERTY LINE	—
EXISTING MONUMENT	□
EXISTING IRON PIN OR PIPE	○
PROPOSED IRON PIN OR PIPE	●
PROPOSED MONUMENT	■
DRILL HOLE	⋈
STONE BOUND	⋈
UTILITY POLE W/ANCHOR	⋈
EASEMENT LINE	—
CHAIN FENCE	—
WOOD FENCE	—
STONE WALL	—
WIRE FENCE	—
CATCH BASIN	■
LIGHT POLE	⋈
BLDG. SETBACK LINE	—
WATERCOURSE	—
EXISTING CONTOUR	310
PROPOSED CONTOUR	310
EXISTING SPOT ELEVATION	311.5
PROPOSED SPOT ELEVATION	311+5
ROCK OUTCROP	—
GUIDE RAIL	—
SOIL BOUNDARY*	—
TBR	TO BE REMOVED

*APPROX. SOIL BOUNDARY PER
NATURAL RESOURCES CONSERVATION
SERVICE SOIL SURVEY

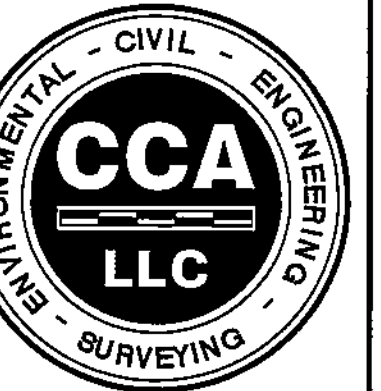
SOILS LEGEND:

229B: AGAWAM—URBAN LAND COMPLEX
284C: PAXTON—URBAN LAND COMPLEX
306: UDORTHENTS—URBAN LAND COMPLEX
307: URBAN LAND



DEMOLITION &
EXISTING CONDITIONS
PLAN
PREPARED FOR
ECB REALTY, LLC
337 FEDERAL ROAD
BROOKFIELD, CONNECTICUT

Date: 02-06-14
Scale: 1"=20'
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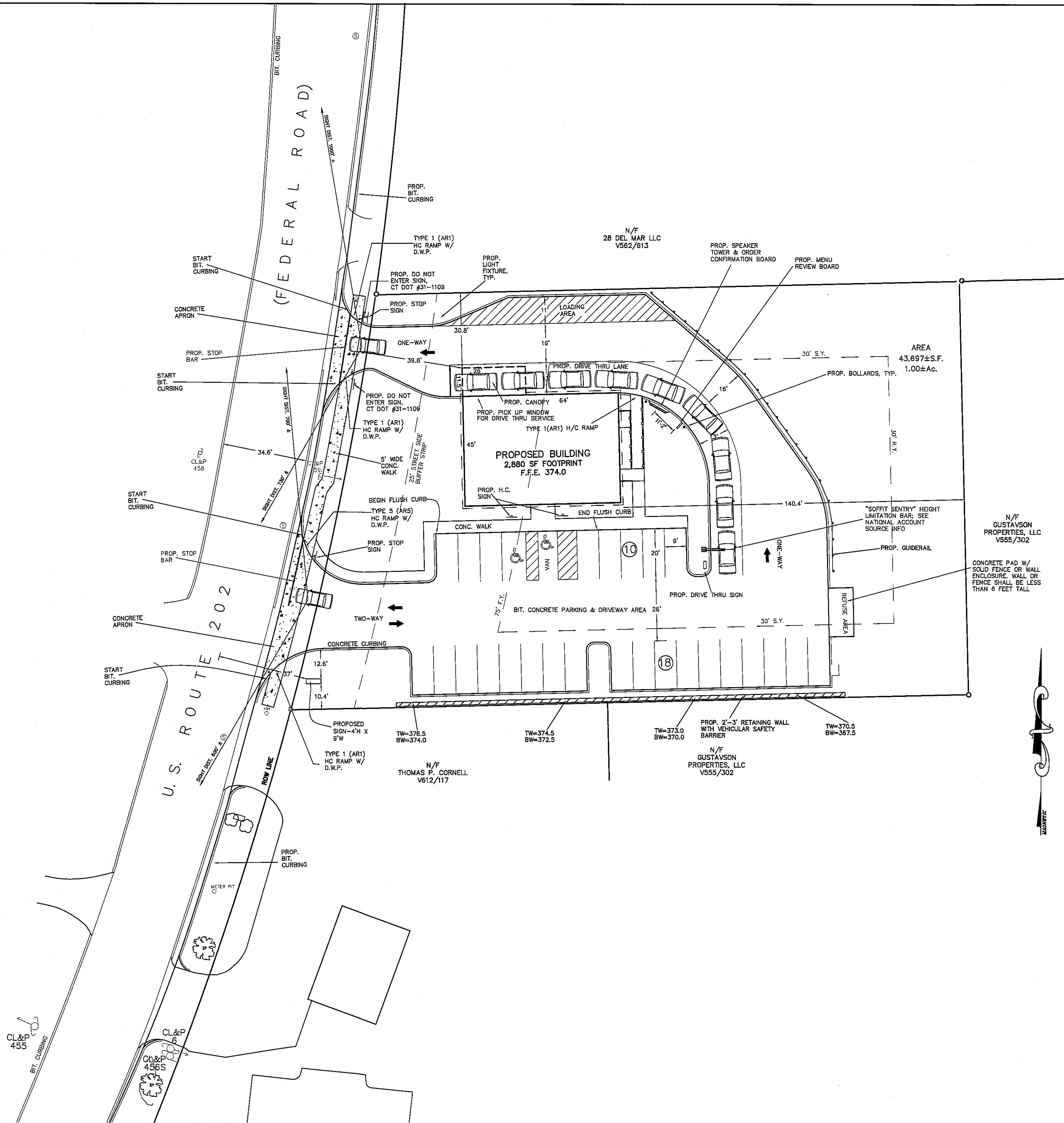
ZONING TABLE		
ZONE	REQUIRED	PROVIDED
USE	IRC 80/40	DRIVE THRU RESTAURANT
LOT AREA	40RC	43,697 ±SF=1.00± ACRES
MIN. LOT WIDTH	40,000 S.F.	173.65'
BUILDING HEIGHT	150'	20'±
FRONT YARD	30' MAX.	39.8' (*35.2' VARIANCE RECEIVED)
SIDE YARD	75'	30.8'
REAR YARD	30'	140.4'
FLOOD PLAIN	30'	
AQUIFER DISTRICT	ZONE X	
IMPERVIOUS AREA	PRIMARY RECHARGE AREA	ALLOWABLE USE
	75%	58.0±% (0.58± ACRES)

* FRONT YARD VARIANCE OBTAINED AT 1-6-14 ZBA MEETING.

PARKING:

RESTAURANT: 1 SPACE/100 SF GFA
2,772/100 = 28 REQUIRED

PARKING PROVIDED:
• 26 REGULAR
• 2 HANDICAP (1 VAN)
28 TOTAL



02/14/14	REMOVE COURTYARD
Date	Revision
LAYOUT & MATERIALS PLAN PREPARED FOR ECB REALTY, LLC 337 FEDERAL ROAD BROOKFIELD, CONNECTICUT	
Date:	02-06-14
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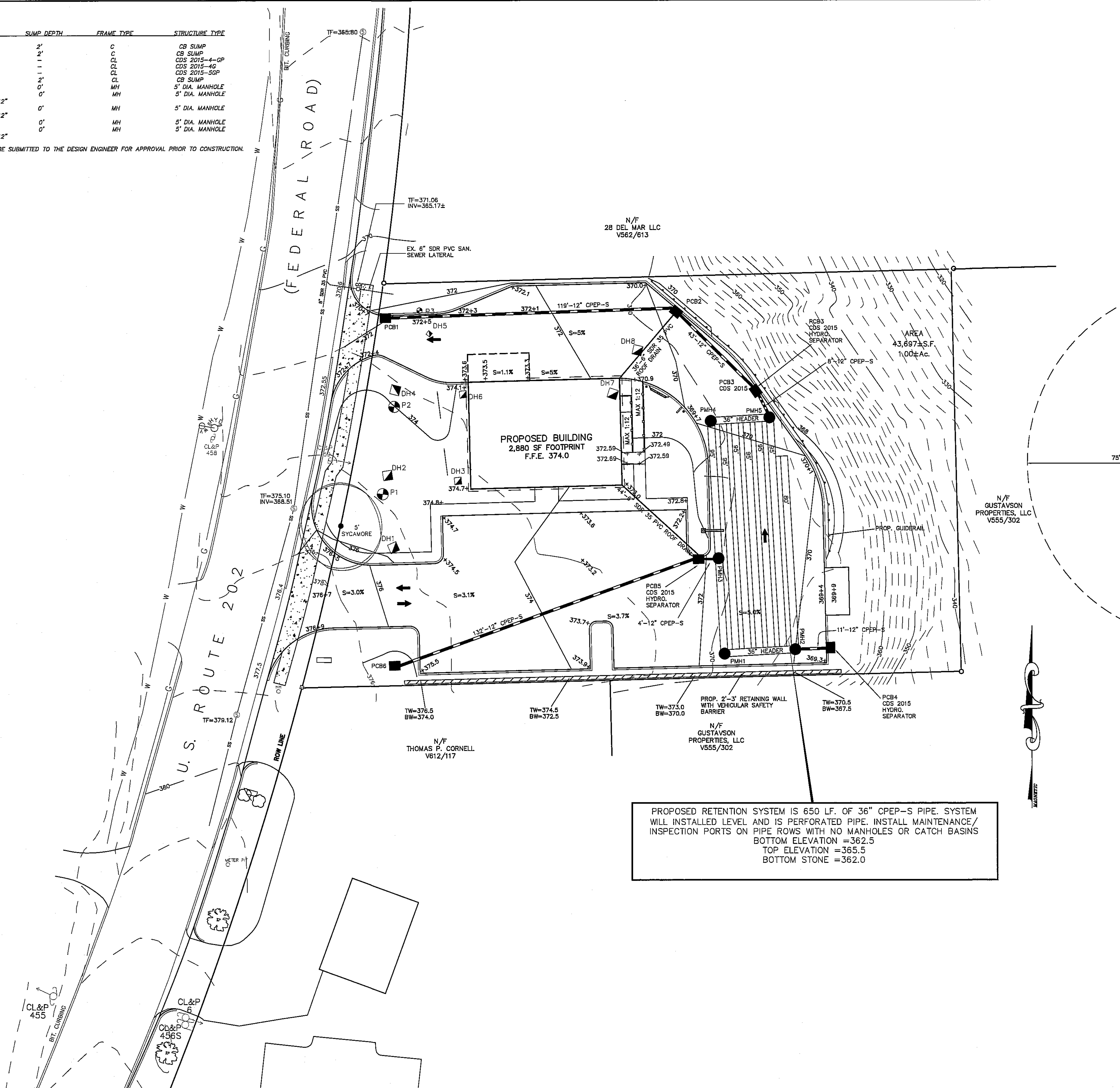


STRUCTURE	TF	INVERT	SUMP DEPTH	FRAME TYPE	STRUCTURE TYPE
PCB1	371.9	368.9	2'	C	CB SUMP
PCB2	369.7	367.1	2'	C	CB SUMP
PCB3	369.1	365.7	3'	CL	CDS 2015-4-GP
PCB4	369.1	366.6	2'	CL	CDS 2015-4-GP
PCB5	372.1	366.6	5'	CL	CDS 2015-5GP
PCB6	372.0	362.5	2'	CL	CB SUMP
PMH1	371.5	362.5	0'	MH	5' DIA. MANHOLE
PMH2	369.8	362.5	0'	MH	5' DIA. MANHOLE
PMH3	371.7	362.5	0'	MH	5' DIA. MANHOLE
PMH4	369.8	362.5	0'	MH	5' DIA. MANHOLE
PMH5	369.2	362.5	0'	MH	5' DIA. MANHOLE


-DRAINAGE STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

MAINTENANCE OF THE DRAINAGE SYSTEM WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

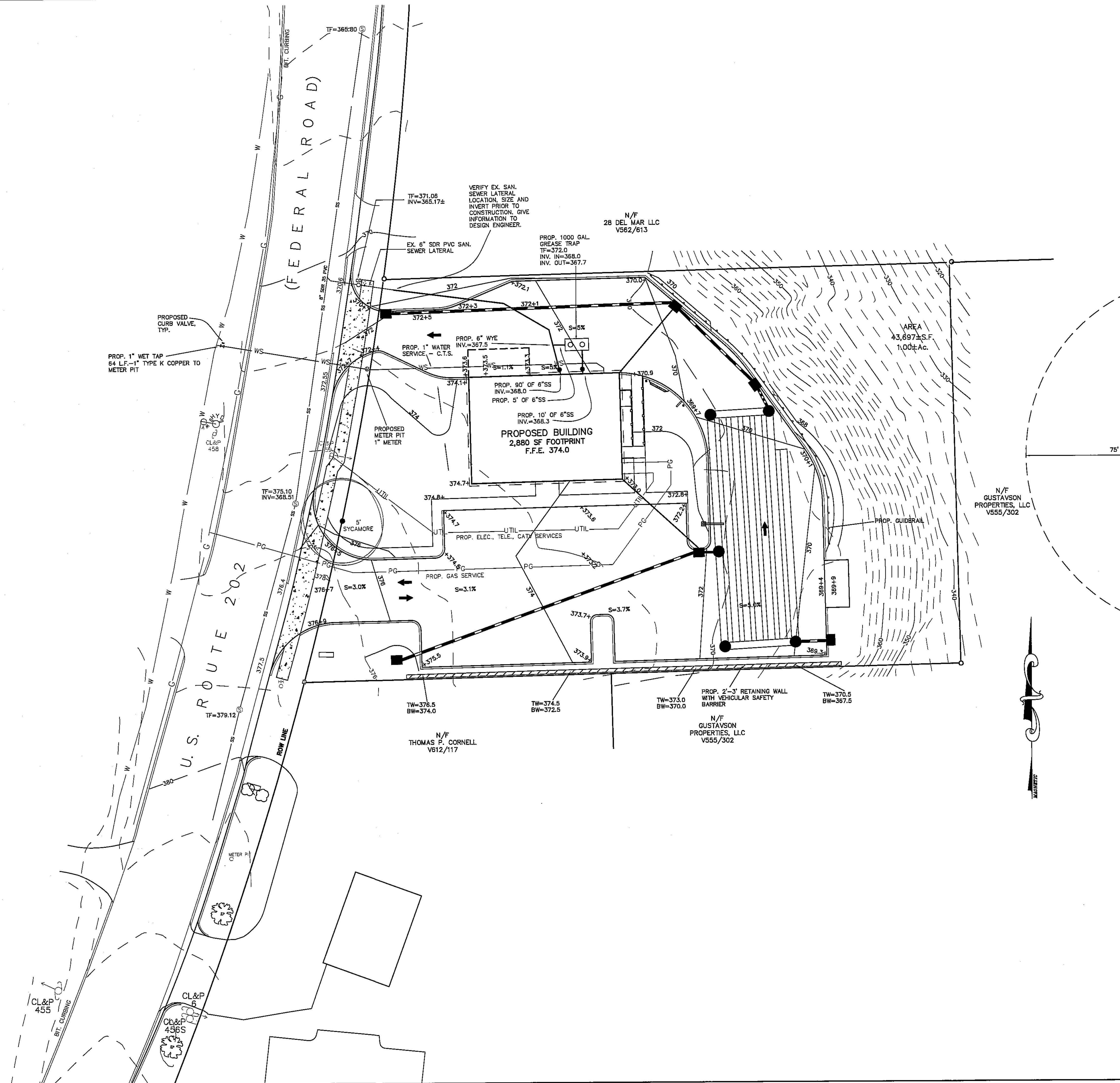
ALL WORK W/N FEDERAL ROAD R.O.W. WILL REQUIRE THE NECESSARY ENCROACHMENT PERMIT FROM THE CONNECTICUT DOT DISTRICT IV OFFICE AND SHALL BE OBTAINED PRIOR TO CONSTRUCTION.



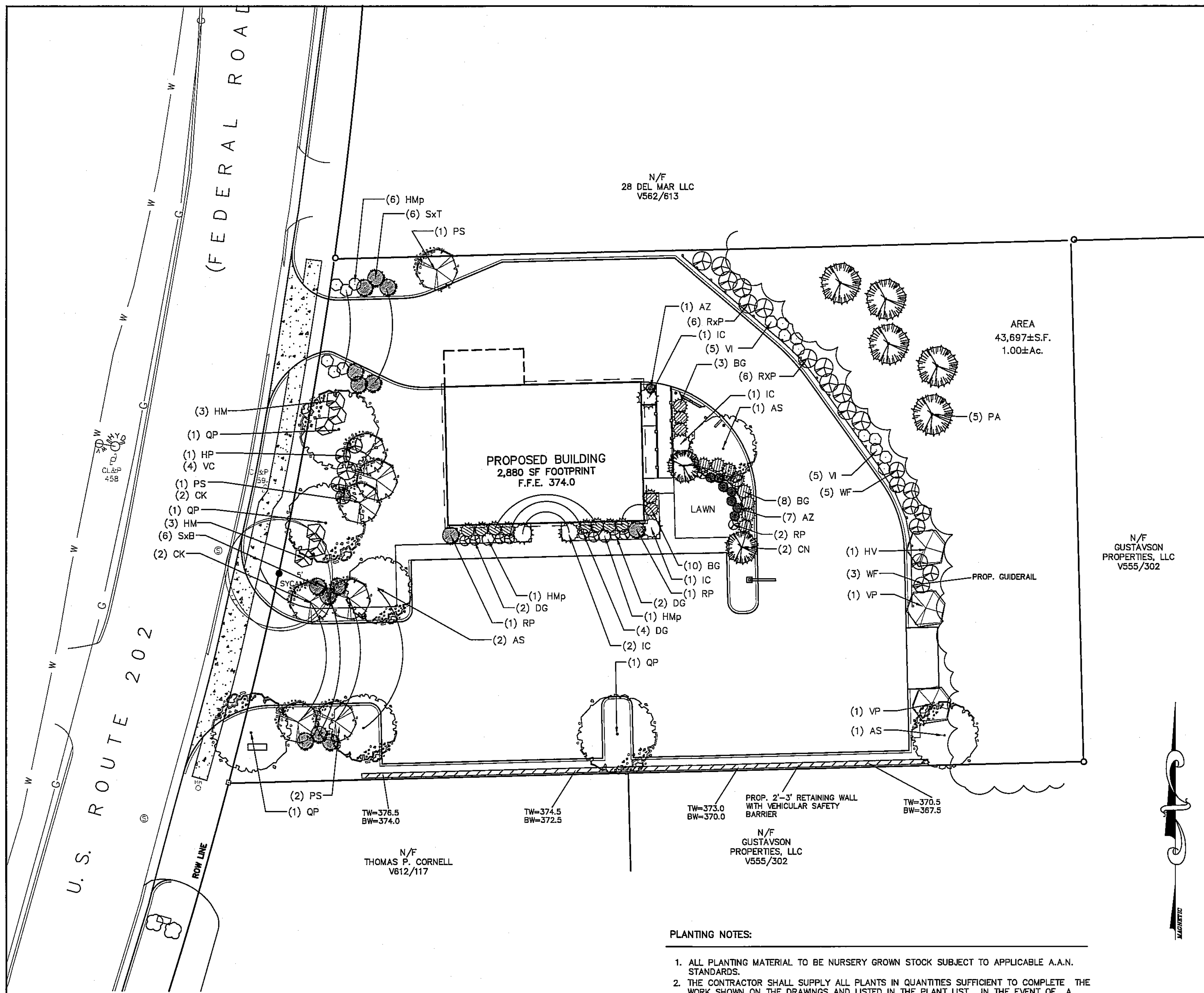
PROPOSED RETENTION SYSTEM IS 650 LF. OF 36" CPEP-S PIPE. SYSTEM WILL INSTALLED LEVEL AND IS PERFORATED PIPE. INSTALL MAINTENANCE/ INSPECTION PORTS ON PIPE ROWS WITH NO MANHOLES OR CATCH BASINS
 BOTTOM ELEVATION = 362.5
 TOP ELEVATION = 365.5
 BOTTOM STONE = 362.0

03/14/14		REMOVE COURTYARD
Date	Revision	
<p align="center">GRADING & DRAINAGE PLAN PREPARED FOR ECB REALTY, LLC 337 FEDERAL ROAD BROOKFIELD, CONNECTICUT</p>		
Date:	02-06-14	
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ALL ELEC., CATV, GAS & TELE. UTILITY
CONNECTIONS AND LOCATIONS TO BE
DETERMINED BY APPROPRIATE UTILITY CO.



06/14/14	
Date	Revision
UTILITIES PLAN PREPARED FOR ECB REALTY, LLC 337 FEDERAL ROAD BROOKFIELD, CONNECTICUT	
Date:	02-06-14
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PLANTING NOTES:

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED, WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 12" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

INDUSTRIAL & COMMERCIAL DISTRICTS LANDSCAPING REQMTS.

SECTION	REQUIRED	PROVIDED
242-501J.3(a) STREET-SIDE STRIPS YARD BUFFER		
(1) 2-1/2" SHADE TREE/50 LF	175/50 LF = 4 SHADE TREE	4 SHADE TREES
(2) 2" UN.STY. TREE/SHADE TREE	(2)4 UNIT = 8 UN.STY.TREE	8 UNDERSTORY TREES
(6) 24"-30" SHRUB/SHADE TREE (6)4 UNIT = 24 SHRUB		
242-501J.3(b) FRONT, SIDE AND REAR YARDS		
(1) 2-1/2" SHADE TREE/1500 SF	()SF/1500 SF = () SH. TREES	N/A
242-501J.3(c) BUILDING SEPERATION STRIPS		
(4) 24"-30" SHRUB/10 LF	(4)(64) LF/10 = (26) SHRUBS	30 SHRUBS
(1) 3" DIAM. PLANTER/10 LF (OR)	() LF/10 = () PLANTER	
242-501J.3(d) RESIDENTIAL PERIMETER STRIP		
(1) PLANT UNIT/100 LF	() LF/100 = () PLANT UNIT	N/A
(4) 2-1/2" SHADE TREES/UNIT	(4)() UNIT = () SHADE TREE	
(6) 2" UN.STY.TREES/UNIT	(6)() UNIT = () UN.STY. TREE	
(24) 24"-36" SHRUB/UNIT	(24)() UNIT = () SHRUB	
(12) 6" EVGN. TREE/UNIT	(12)() UNIT = () EVGN. TREE	
242-501J.3(e) PARKING LOT AREAS		
40% GROSS PARK'G	(4)9,742 S.F.= 3,897 S.F.	4,000 S.F. or 41%
(1) 10'x20' END ISLAND		
(1) 2-1/2" SHADE TREE/END ISLE.	4 END ISLE. = 4 SHADE TREE	4 SHADE TREES
(10) 10' SEPERATION STRIP	(10F.T.)(110 F.T.)= 1,100 S.F.	N/A
(1) 2-1/2" SHADE TREE/25 LF	() LF/25 = () TREE	
(10) 10' DIVIDER ISLAND		N/A
(1) 2-1/2" SHADE TREE/25 LF	() LF/25 = () TREE	
(1) 24"-30" SHRUB/10 LF	() LF/10 = () SHRUB	
(10) 10' x 20' INTER. ISLAND PARK'G ROW >20 SPACES		
(1) 2-1/2" SHADE TREE/ISLE	(1) ISLE = (1) TREE	1 SHADE TREE

PROPOSED PLANTING SCHEDULE

SYM	BOTANICAL-NAME	COMMON-NAME	SIZE	ROOT	QTY
CANOPY TREES					
AS	Acer saccharum	'Fall Fiesta'	2.5" Cal	B&B	4
QR	Quercus robur	'Pyramidal'	2.5" Cal	B&B	4

EVERGREEN TREES

CN	Chamaecyparis nookatensis	'Pendula'	Weeping Alaskan Cedar	6'-7' HL	B&B	2
PA	Picea abies		Norway Spruce	6'-7' HL	B&B	5

UNDERSTORY TREES

CK	Cornus kousa	'Satomi'	'Satomi' Dogwood	2" Cal	B&B	4
PS	Prunus 'Kwanzan'		'Kwanzan' Cherry	2" Cal	B&B	4

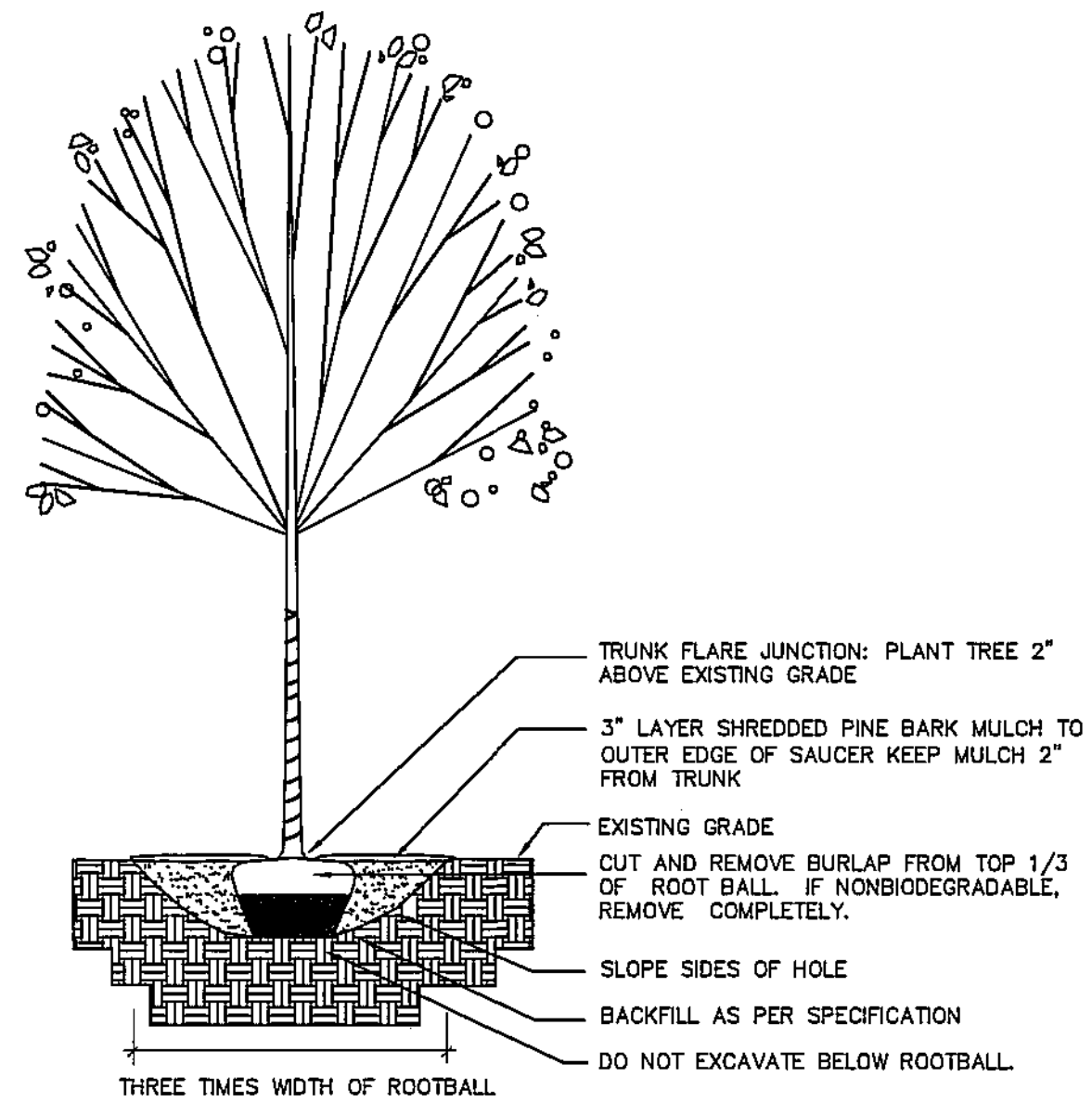
SHRUBS

AZ	Azalea 'Mountain Creeper'	'Mountain Creeper'	Azalea	3 Gal.	Cont.	8
BG	Buxus x 'Green Mountain'	Green Mt. Boxwood	30"-36" Ht	Cont.		21
DG	Deutzia gracilis	'Nikko'	Spreading Deutzia	2 Gal.	Cont.	8
HV	Hammamelis virginiana	'Diane'	'Diane' Witchhazel	10 Gal.	Cont.	1
HM	Hydrangea macrophylla	'Blushing Bride'	'Blushing Bride' Bigleaf Hydrangea	5 Gal.	Cont.	6
HMP	Hydrangea macrophylla	'Pink Elf'	'Pink Elf' Bigleaf Hydrangea	2 Gal.	Cont.	8
HP	Hydrangea paniculata	'Pink Winky'	'Pink Winky' Hydrangea	5 Gal.	Cont.	1
IC	Ilex crenata	'Steads'	'Steads' Upright Holly	5 Gal.	Cont.	5
RP	Rhododendron	PJM Elite	PJM Elite Rhodo.	3 Gal.	Cont.	4
RxP	Rosa x	'Pink Double Knockout'	'Pink Double Knockout'	3 Gal.	Cont.	12
SxB	Syringa x	'Bloomerang'	'Bloomerang' Lilac	5 Gal.	Cont.	6
SxT	Syringa x	'Tinkerbell'	'Tinkerbell' Lilac	5 Gal.	Cont.	6
WF	Weigela florida	'Wine & Roses'	'Wine & Roses' Weigela	5 Gal.	Cont.	8
VC	Viburnum carlesii	'Compactum'	Dwarf Koreanspice Viburnum	3 gal.	Cont.	4
VI	Viburnum dentatum	'Blue Muffin'	'Blue Muffin' Viburnum	3 Gal.	Cont.	10
VP	Viburnum plicatum	'Mariesii'	'Mariesii' Doublefile Viburnum	4'-5' Ht.	B&B	2

FINE LAWN GRASS SEED MIX

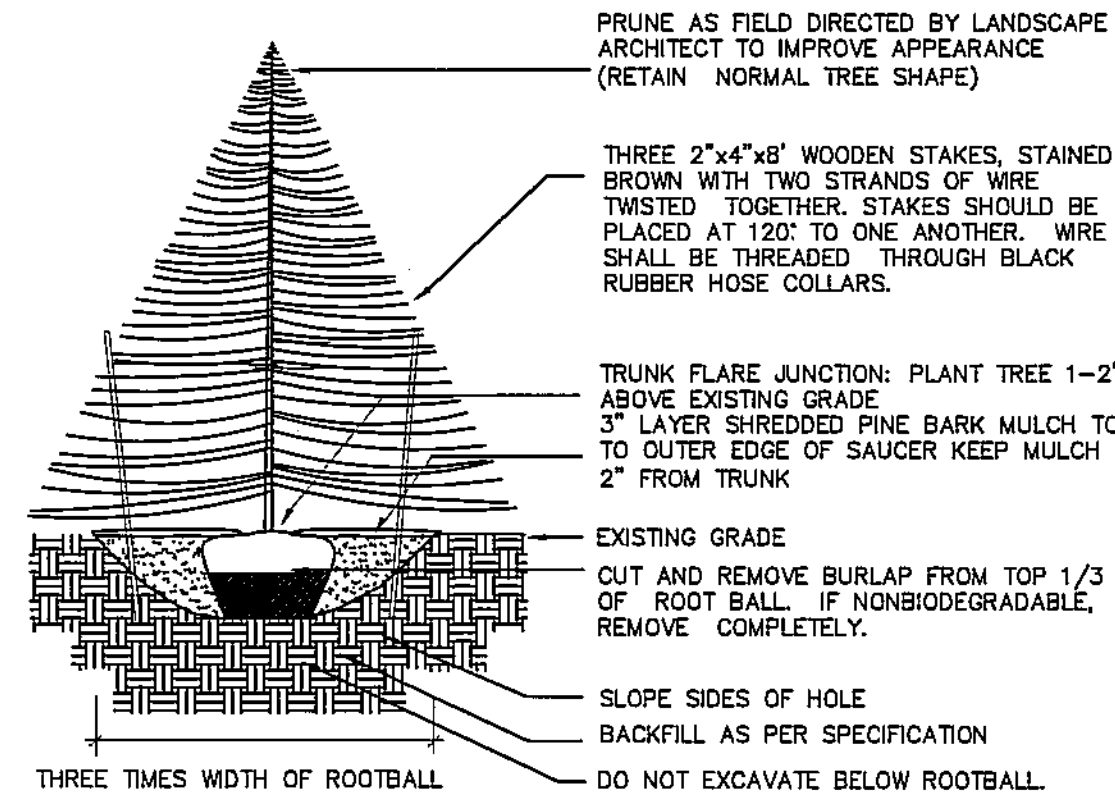
30% MERION KENTUCKY BLUE GRASS
40% KENTUCKY BLUE GRASS
20% PENLAWN RED FESCUE
10% ANNUAL RYEGRASS

NOTE:
ALL DISTURBED AREAS & THOSE AREAS NOT PLANTED WITH TREES OR SHRUBS TO BE LOAMED & SEEDED, TYP.



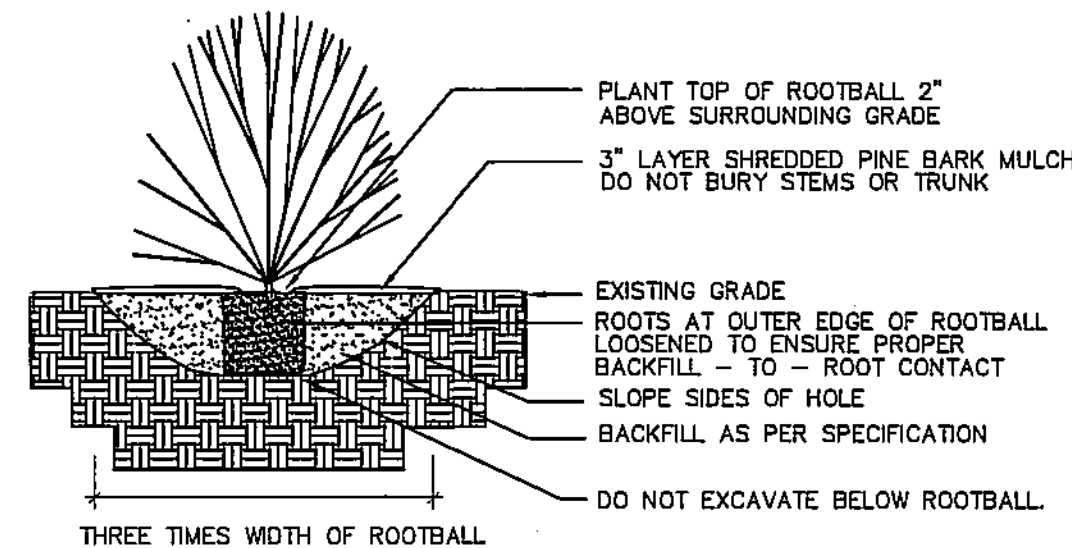
DECIDUOUS TREE PLANTING

DETAIL C
NOT TO SCALE



EVERGREEN TREE PLANTING

DETAIL A
NOT TO SCALE



SHRUB PLANTING

DETAIL B
NOT TO SCALE

03/14/14
Date
Revision

REMOVE COURTYARD

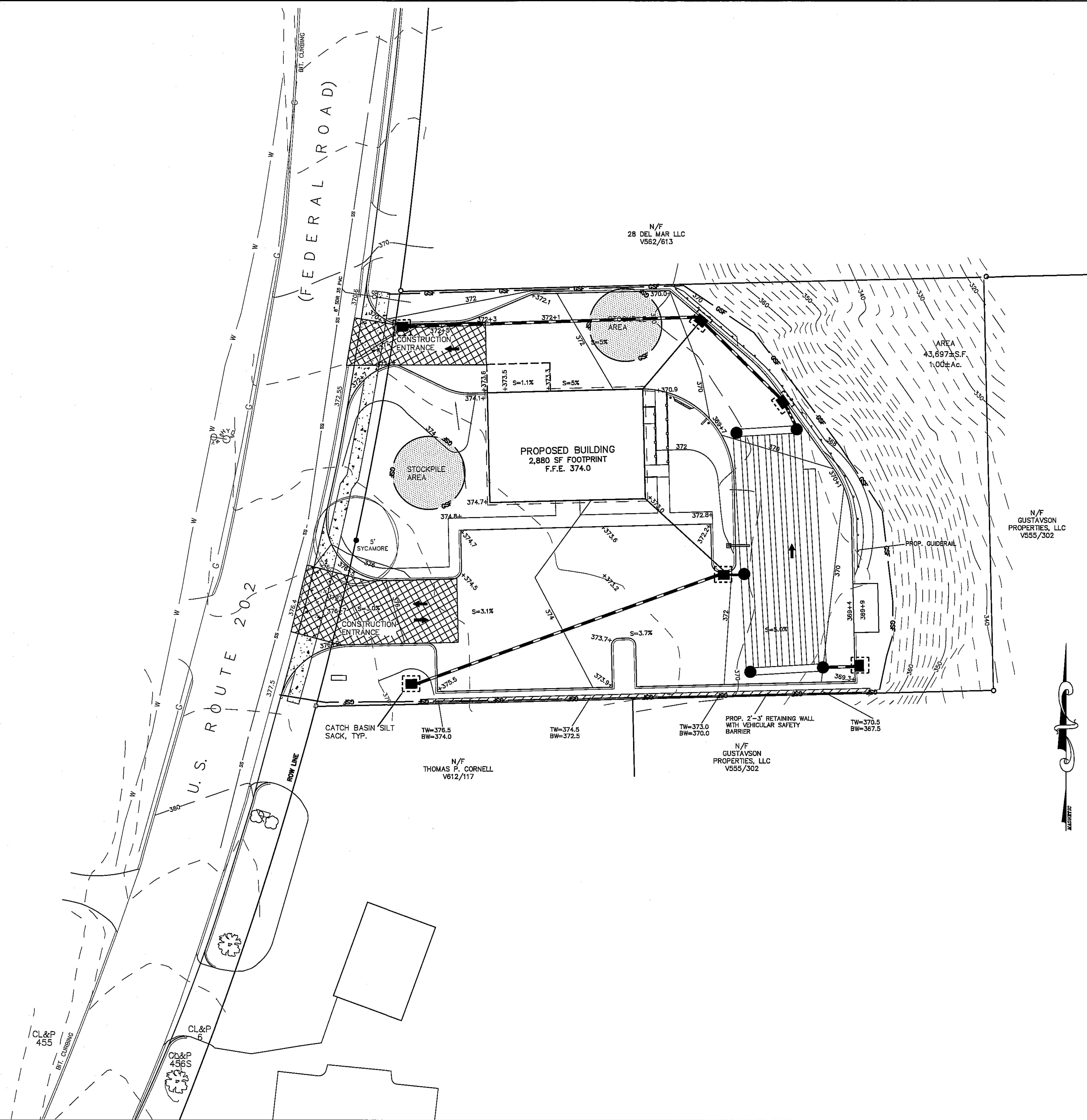
LANDSCAPE PLAN
PREPARED FOR
ECB REALTY, LLC
337 FEDERAL ROAD
BROOKFIELD, CONNECTICUT

Date: 02-06-14
Scale: 1"=20'
Proj. No.: 06359
File No.: 2953
Acad No.: 06359SP
Sheet: C5

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40 Old New Milford Road
Brookfield, CT 06804
(203)775-6207

33 Village Green Drive
Litchfield, CT 06759
(860)567-3179

ENVIRONMENTAL - CIVIL - ENGINEERING
CCA
LLC
SURVEYING



03/14/14		REMOVE COURTYARD	
Date		Revision	
EROSION CONTROL PLAN			
PREPARED FOR			
ECB REALTY, LLC			
337 FEDERAL ROAD			
BROOKFIELD, CONNECTICUT			
Date:	02-06-14		
Scale:	1"=20'		
Proj. No:	06359		
File No:	2953		
Acad No:	06359SP		
Sheet:	C6	40 Old New Milford Road Brookfield, CT 06804 (203)775-6207	
		33 Village Green Drive Litchfield, CT 06759 (860)567-3179	

EROSION & SEDIMENTATION CONTROL PLAN AND CONSTRUCTION SEQUENCE

A. VALIDITY AND PROJECT DESCRIPTION:

- **VALIDITY:** This document is to be considered an integral part of the plans prepared for the project by CCA, LLC. The procedures outlined herein are to be strictly followed during the construction operations.
- **PROJECT DESCRIPTION:** The project consists of the demolition of the existing greenhouse building in order to construct a Dunkin' Donuts building with a footprint of 2,880 square feet. Please refer to the site development plans for additional information.

B. START AND COMPLETION DATES:

- **APPROXIMATE START DATE:** Spring 2014
- **ESTIMATED TIME TO COMPLETE:** Approx. 12 months. The above dates are subject to receipt of all required permits, and schedule changes. The Erosion and Sediment Control Officer shall be provided with updated schedules as they become available.

C. GENERAL CONSTRUCTION SEQUENCE:

- Obtain all permits.
- Notify "Call Before You Dig" for utility markout as necessary.
- Notify all applicable City Officials of construction as required.
- Install sediment fence at top of proposed slopes and as shown on the plans. Take particular care to insure installation of sediment fence adjacent to the property boundaries; install hay bales as shown.
- Install anti-tracking pads.
- Construct siltation controls at catch basins and drainage structures once structures are installed.
- Maintenance of erosion controls to occur at all times during construction.
- Remove all brush and trees within the proposed areas to be developed including slope areas.
- Removal and stockpile of topsoil from disturbed areas.
- Topsoil to be seeded with annual ryegrass seed.
- Construction of drainage system:
 - Start installation at level spreader and work up-gradient.
 - Excavate as necessary to install drainage system and prepare base as shown on plans.
 - Install all piping and structures as shown on the plans.
 - connect all footing and roof drains.
- Excavation to subgrade and/or placement of fill in accordance with the site plans.
- Construct proposed improvements, building, driveway, parking areas, utilities, etc.
- Install final stabilization (grass, seed, mulch, etc.) as soon as possible.
- Temporary stabilization measures to occur at all times.
- Final Site Stabilization:
 - Final grade slopes and disturbed areas.
 - Place topsoil on at disturbed areas and fertilize seed and mulch.
 - Install landscaping in accordance with approved landscaping plans.
 - Removal of the sedimentation controls.
 - Any remaining disturbed areas to be reseeded and mulched.

D. GENERAL REQUIREMENTS:

- All disturbed areas to be stabilized by topsoiling, seeding, and mulching as soon as practical. Care to be taken to protect areas not indicated on the plans to be disturbed.
- Erosion controls shall be placed at locations specified and maintained until all sloped and other disturbed areas are stabilized.
- Additional control measures shall be installed during construction, if necessary, to minimize sediment transport.
- The property owner shall be responsible for the implementation and maintenance of all controls and proper disposal of sediment removed from them.
- Erosion and sedimentation control shall be constructed in accordance with 2002 Connecticut Guidelines for Erosion and Sediment Control.
- If at any time, ownership of the project is transferred to others, the new owners shall notify all appropriate Officials. The new owner shall designate a responsible person in charge.

E. CONTROL MEASURE SITE SECTION PROCESS:

- Erosion is caused by soil movement, water movement and sediment movement. The objective of the erosion and sediment control plan is to prevent off-site sedimentation damage. The steps involved in the erosion control selection process are as follows:
 - Identify control problem.
 - Identify problem area.
 - Identify required strategy.
 - Identify control measure group.
 - Select specific control measure.
- The three basic methods used to control erosion are soil stabilization, runoff control and sediment control. A combination of these three methods are proposed in order to minimize off-site sedimentation damage.
- **SOIL MOVEMENT:** Soil movement is created by sheet erosion, rill erosion and wind erosion.
 - PROBLEM AREAS:** Soil Movement occurs on slopes, exposed areas and travel areas. Sheet and rill erosion on steep, exposed, non-vegetated slopes can produce significant erosion, especially during major rain storms. Wind erosion on roads and slopes under construction can present problems during dry periods.
- **REQUIRED STRATEGY:** Protection of the surface is the most effective method of controlling soil movement.
- **CONTROL MEASURE GROUP:** Control measure groups consist of vegetative soil covers, non-vegetative soil covers and environmental enhancement.
- **SPECIFIC CONTROL MEASURE:**
 - Permanent vegetative cover (PV) is specified as soon as final grade of any slope is reached. Hydeseeding is recommended.
 - Topsoiling (TO) of the same slopes is also specified.
 - Temporary Vegetative Cover (TV) is recommended on topsoil stockpiles and sections of the project that are disturbed for periods of one year or more.
 - The use of temporary and permanent mulching is not recommended, due to the steep slopes.
- **WATER MOVEMENT:** Water movement can create gully erosion, channel and stream erosion. Controlling water movement can protect on site and off site areas.
 - PROBLEM AREAS:** Problem areas consist of drainage ways, water courses, and steep, long slopes.
- **REQUIRED STRATEGY:** The strategies for control of water movement include directing runoff, conveying runoff, stabilizing outlets, intercepting groundwater stabilizing steep slopes and watercourses.
- **CONTROL MEASURE GROUP:** Control Measure Group consists of diversions, waterways, outlets, enclosed drainage systems, and stabilization structures.
- **SPECIFIC CONTROL MEASURE:**
 - Outlet Protection (OP) is required at the point of discharge for all culverts.
 - Rip rap (RR) is proposed for the final stabilization on the inlet and outlet of all storm drainage pipes and culverts.
 - Temporary or permanent diversion (DV) to direct water to drainage or other erosion controls.
- **SEDIMENT MOVEMENT:** Sediment Movement is created by water or wind forces causing soil particles to move which in turn can affect off site areas if not properly contained.
 - PROBLEM AREAS:** Problem areas are both small and large waterbodies, travel areas and borrow and stockpile areas.
- **REQUIRED STRATEGY:** The strategies for controlling sediment movement consist of trapping sediment, detaining runoff, controlling sediment and filtering sediment.
- **CONTROL MEASURE GROUP:** The control measure groups are sediment control, mud and dust control, sediment filters and sedimentation basins.
- **SPECIFIC CONTROL MEASURES:**
 - Dust Control (DC): Driveways and haul roads to be sprayed with water as necessary to control wind-borne particles during dry weather conditions. Paved driveways are to be swept of accumulated sand and silt as necessary to prevent sediment movement. Other disturbed areas to be sprayed with water and or mulched during dry periods.
 - Construction Entrance (CE): The construction entrance location is the proposed driveway unless otherwise indicated on the plan. The entrance should be constructed as specified as on the plans.
 - Sediment Barriers (SB) and Silt Curtain (SC): The use of sediment barriers and silt curtains are specified on the plans at the bottom of all proposed slopes.
 - Sediment Basin (SB): The sediment basin should be constructed as specified on the plans. Maintenance to occur as required.

F. MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS:

- All erosion and sedimentation controls to be checked weekly and repairs made, if necessary.
- Prior to the time of any forecasted rainfall, all erosion and sedimentation controls to be checked and necessary repairs made.
- All silt to be removed from erosion and sedimentation controls as necessary and/or prior to any forecasted rainfall.
- Construction entrance to be cleaned and/or reconstructed as required.
- All removed silt to be properly disposed of outside of roadway areas. Any disposed silt to be immediately seeded with annual ryegrass and mulched.
- After all disturbed areas are stabilized and approval to remove erosion and sedimentation controls have been obtained from the Town, the erosion and sedimentation controls can be removed. All disturbed areas to be seeded and mulched.
- It is suggested that a formal log be kept of all erosion and sedimentation control inspection including the removal of any trapped silt.
- Temporary controls to consist of seeding with annual ryegrass. Hay mulch or other approved methods shall be used if season will not permit grass to germinate.

G. PLANTING SCHEDULE:

- Type of grass seed to be used shall conform to Chapter 5 of the "2002 Connecticut Guidelines for Soil Erosion & Sedimentation Control" ("ESC") for each type of condition encountered. temporary seeding should be done within two (2) days of ground disturbance.
- Quantity, fertilization and method of installation for all plantings should conform to the "ESC".
- Planting dates should conform to "ESC" for temporary and permanent grass seeds and all other plantings.
- Maintenance of all seeded and planted areas is to conform with the requirements of the "ESC".
- All seeded areas are to be maintained and areas which are determined to need additional work are to be repaired as soon as possible.
- During those times of the year when seed cannot be planted, all disturbed areas to be mulched in accordance with Chapter 5 of the "ESC" and be seeded as soon as the seeding dates permit.
- Every effort shall be made to seed disturbed areas during the earliest planting period.

GRADING NOTES:

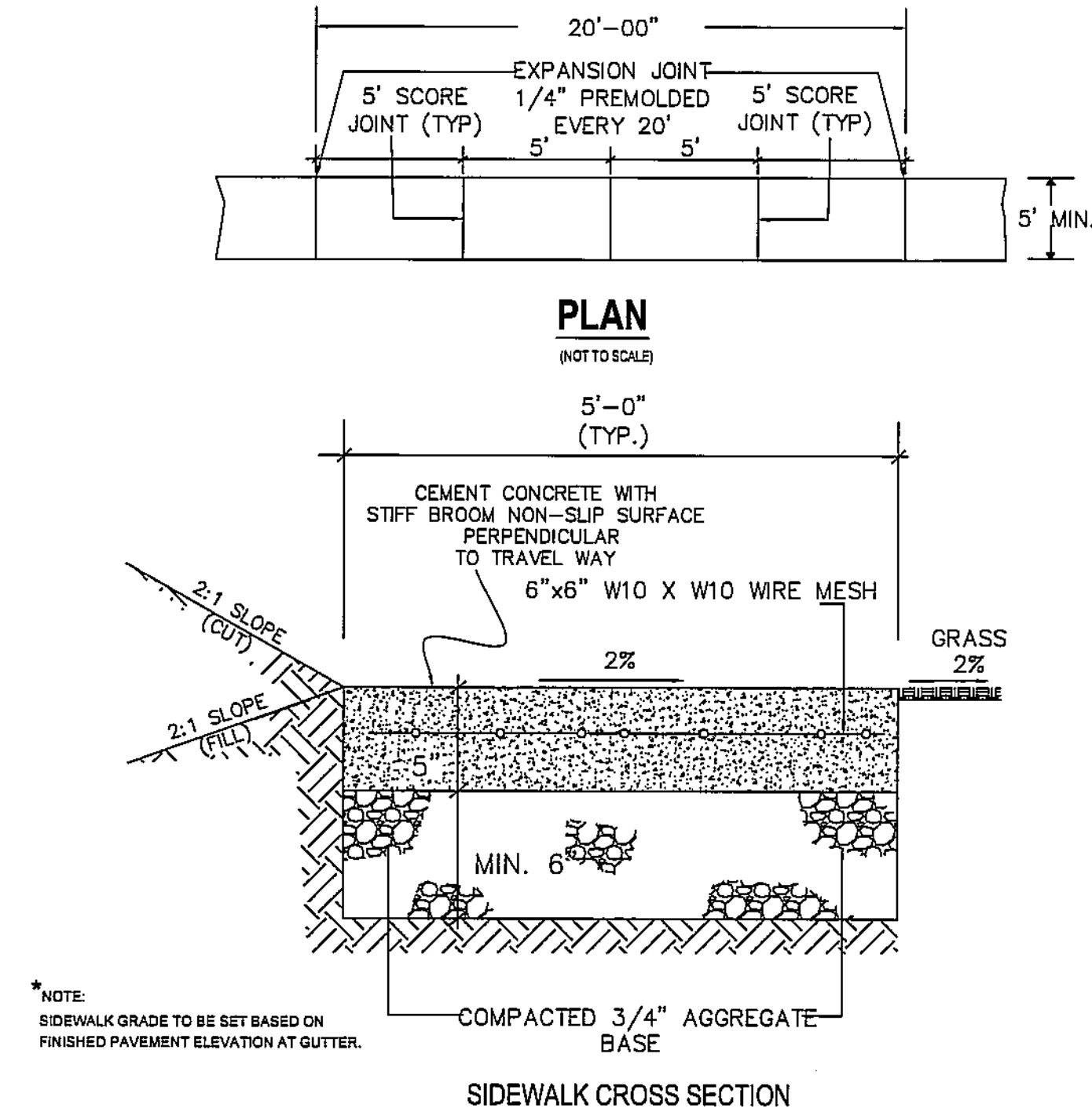
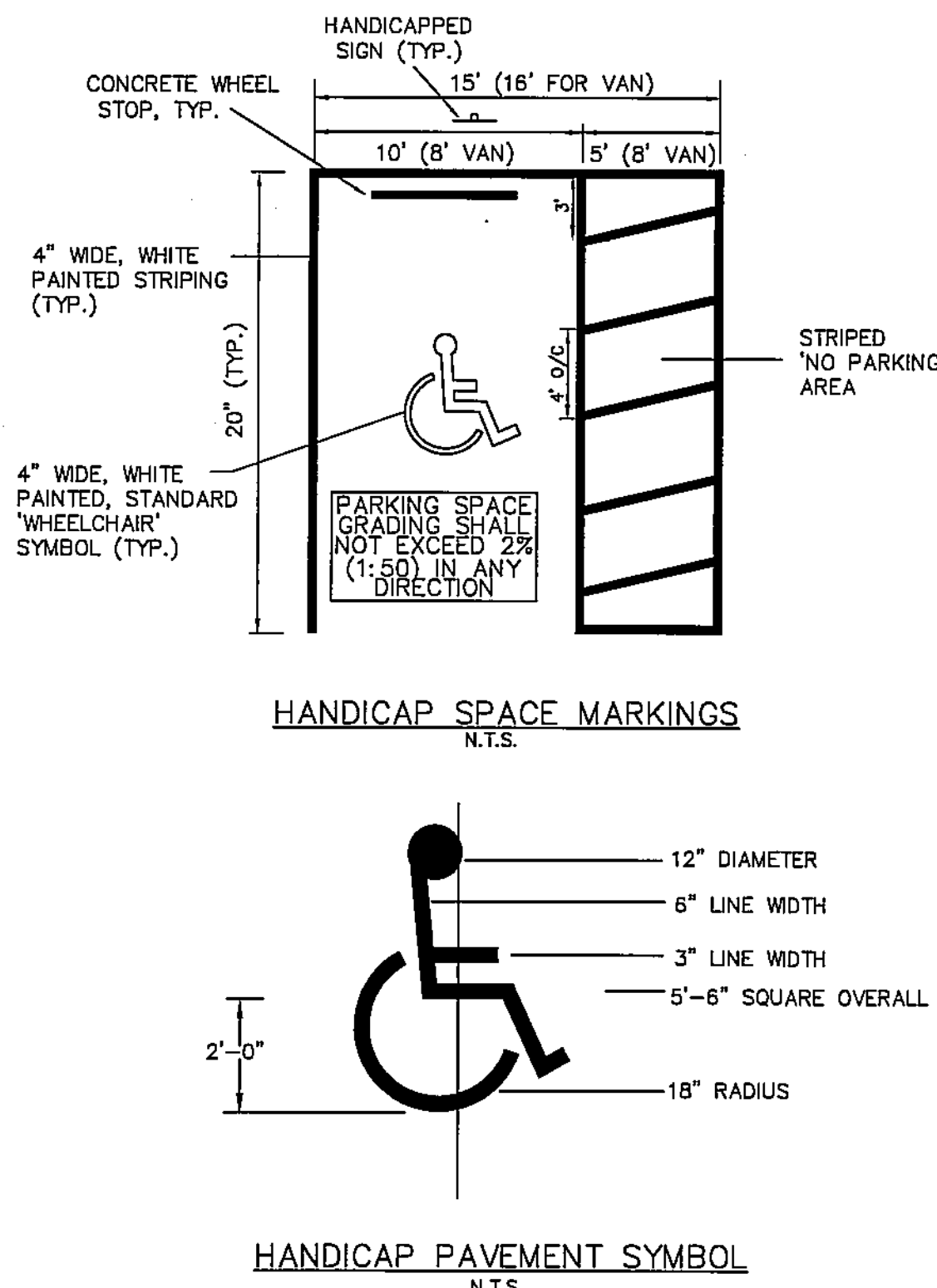
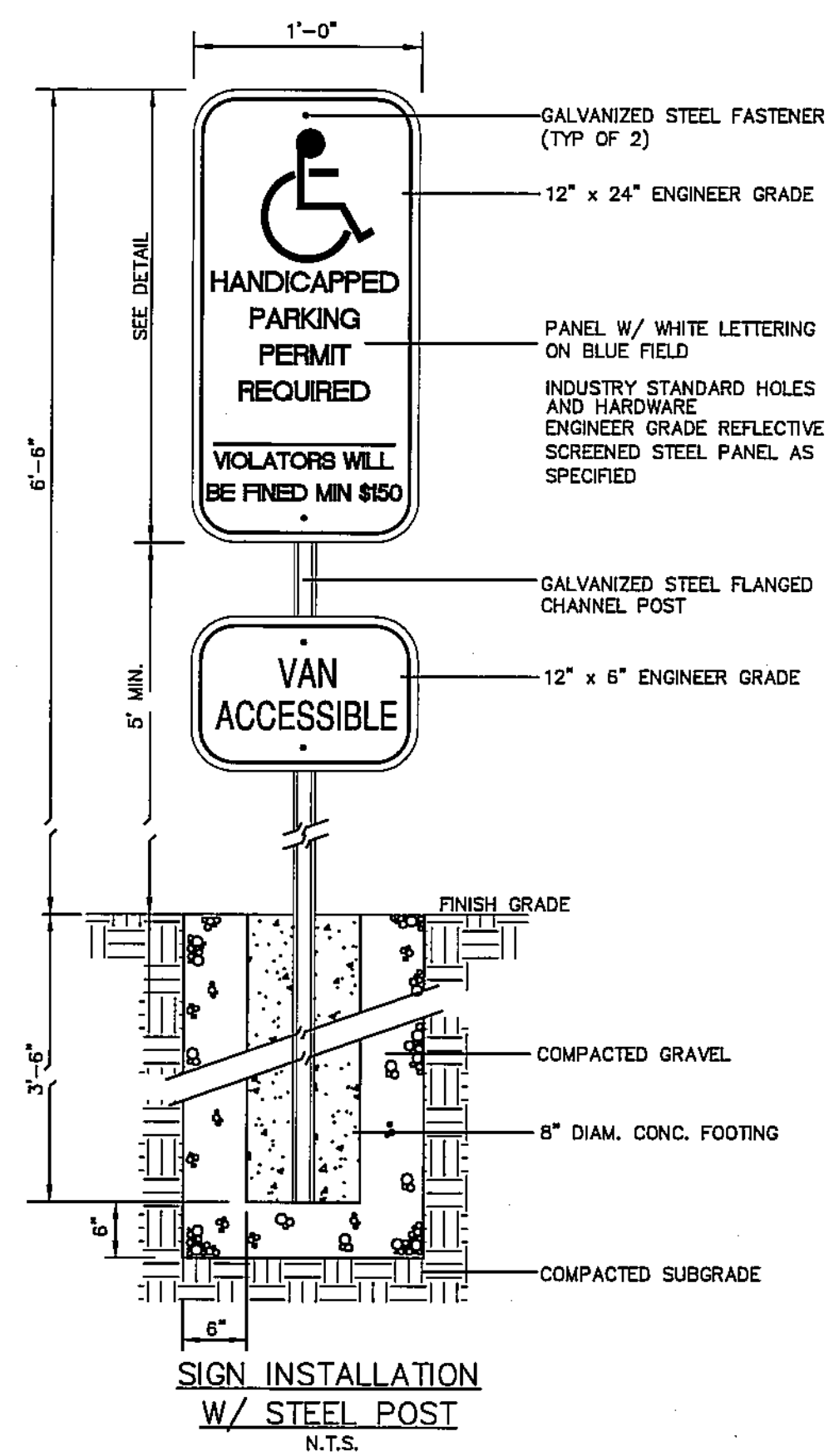
- All grading shall be performed to eliminate low points and depressions which would trap surface water. Contact the design engineer if changes are warranted.
- Fill under all parking, driveway and sidewalk areas is to be adequately compacted.
- All backfill for buildings, trenches, structures, etc. shall be adequately compacted to prevent excessive settlement. Contact the engineer should additional clarification be necessary.
- Minor grading changes are permitted to meet field conditions provided prior approval is obtained from the engineer.
- Proposed grading shall maintain existing runoff conditions.

CATCH BASIN FILTERS

- Temporary catch basin filters will be utilized to prevent the deposition of sediment into the storm sewer system prior to the stabilization of exposed areas with vegetation and/or pavement.
- These filters will consist of lightly bound, pin-anchored haybales embedded four inches below grade, surrounding each catch basin inlet.
- Installation and Maintenance:
 - Placed around each catch basin inlet prior to paving or stabilization with vegetation.
 - Sedimentation shall be removed from the filters when sediment has accumulated to 50% of the filter's original height.

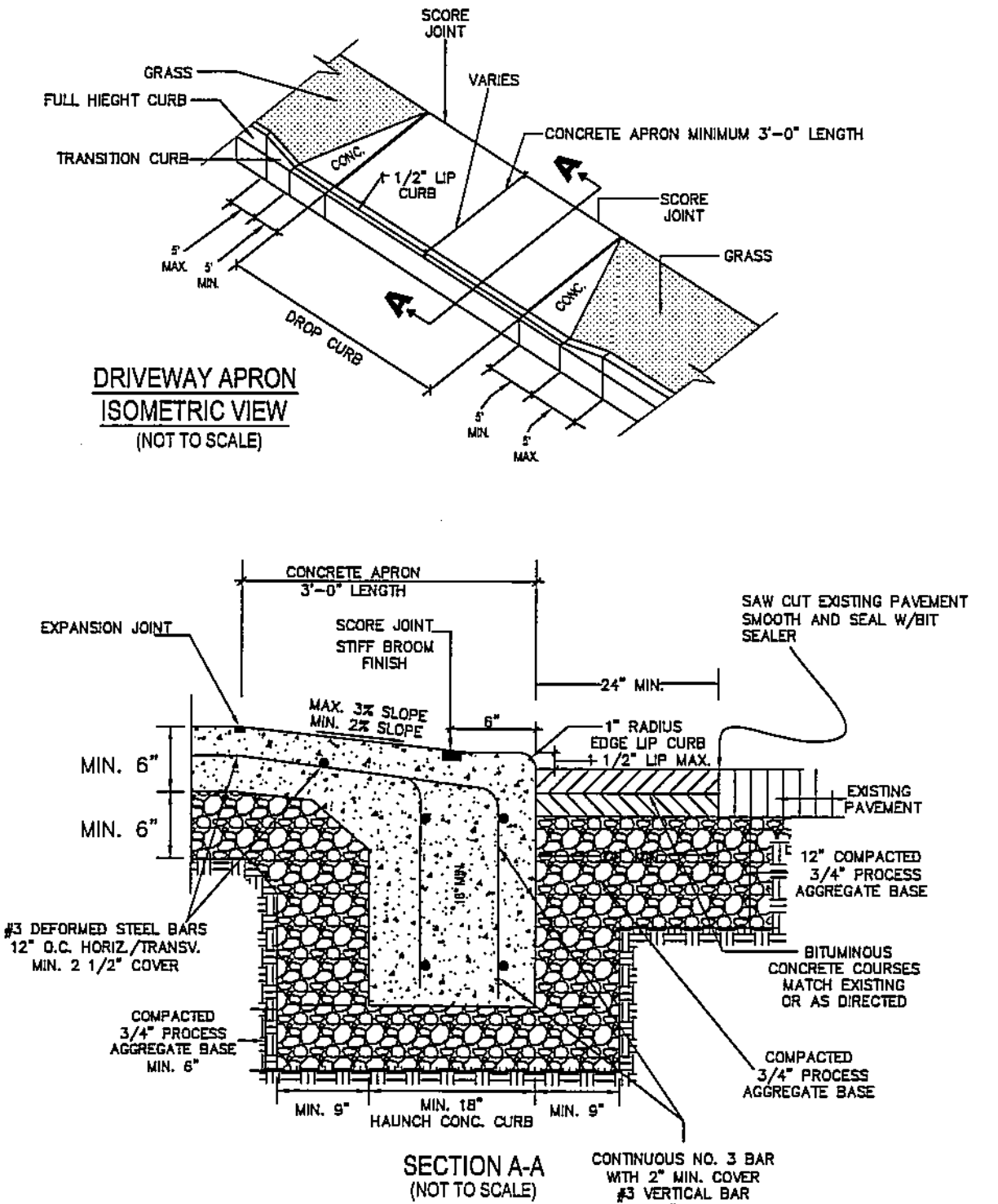
NOTES:

- BOUNDARY A TOPOGRAPHIC DATA BY CCA, LLC.
- VERTICAL DATUM IS BASED ON NGVD 1929 DATUM.
- PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON FIRM FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, CONNECTICUT, PANEL 131 OF 626, EFFECTIVE DATE JUNE 18, 2010.
- STRICT ADHERENCE TO ALL OSHA, TOWN OF BROOKFIELD AND STATE OF CONNECTICUT REGULATIONS REGARDING CONSTRUCTION IS REQUIRED AT ALL TIMES.
- CONSTRUCTION IS EXPECTED TO BEGIN UPON RECEIPT OF PROPER PERMITS.
- ALL UTILITIES TO BE INSTALLED UNDERGROUND AND IN THE LOCATIONS AS TO BE DETERMINED BY EACH UTILITY COMPANY.
- ALL LANDSCAPED AREAS TO BE MULCHED.
- CONTRACTOR IS RESPONSIBLE TO CONTACT "CALL BEFORE YOU DIG".
- DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY FOR RESOLUTIONS.
- SPARE EROSION CONTROLS SHALL BE STORED ON SITE FOR EMERGENCY USE.
- ALL DISTURBED AREAS TO BE TOPSOILED AND SEEDDED.
- UNDERGROUND UTILITIES SHOWN AS MARKED IN THE FIELD BY CALL BEFORE YOU DIG.
- ANY RETAINING WALLS OVER 3' IN HEIGHT ARE TO BE DESIGNED AND CONSTRUCTED UNDER THE SUPERVISION OF A STATE OF CT. LICENSED PROFESSIONAL ENGINEER.
- NO WOOD RETAINING WALLS OVER 3' IN HEIGHT ARE ALLOWED.
- UNDERGROUND UTILITIES, STRUCTURES, AND FACILITIES NOT FIELD LOCATED. THE SIZE, LOCATION, EXISTENCE OR NONEXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455.
- NO LIGHTING IS TO BE DIRECTED OUTSIDE THE PROPERTY LIMITS.
- HAZARDOUS MATERIALS (CLEANING SUPPLIES) STORAGE TO BE IN CONFORMANCE WITH SECTION 242-502.2 OF THE BROOKFIELD ZONING REGULATIONS.
- CROSS SLOPE ON SIDEWALKS SHALL BE A MIN. OF 1/4" PER FOOT FROM BUILDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING REQUIRED PERMITS AND NOTIFYING THE TOWN DEPARTMENTS AND THE ENGINEER FOR INSPECTIONS.
- METHODS OF CONSTRUCTION SHALL MEET TOWN OF BROOKFIELD AND CONNECTICUT D.O.T. STANDARDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ON-SITE AND OFF-SITE FIELD CONDITIONS AND VERIFY THAT NO CHANGES HAVE OCCURRED SINCE THE ISSUANCE OF THIS PLAN. THE DESIGN ENGINEER IS TO BE NOTIFIED OF ANY CHANGES WHICH CONFLICT WITH THIS PLAN.
- ALL CATCH BASINS, MANHOLES, PIPING AND OTHER UTILITY COMPONENTS SHALL BE CAPABLE OF SUPPORTING H-20 TRAFFIC LOADS.
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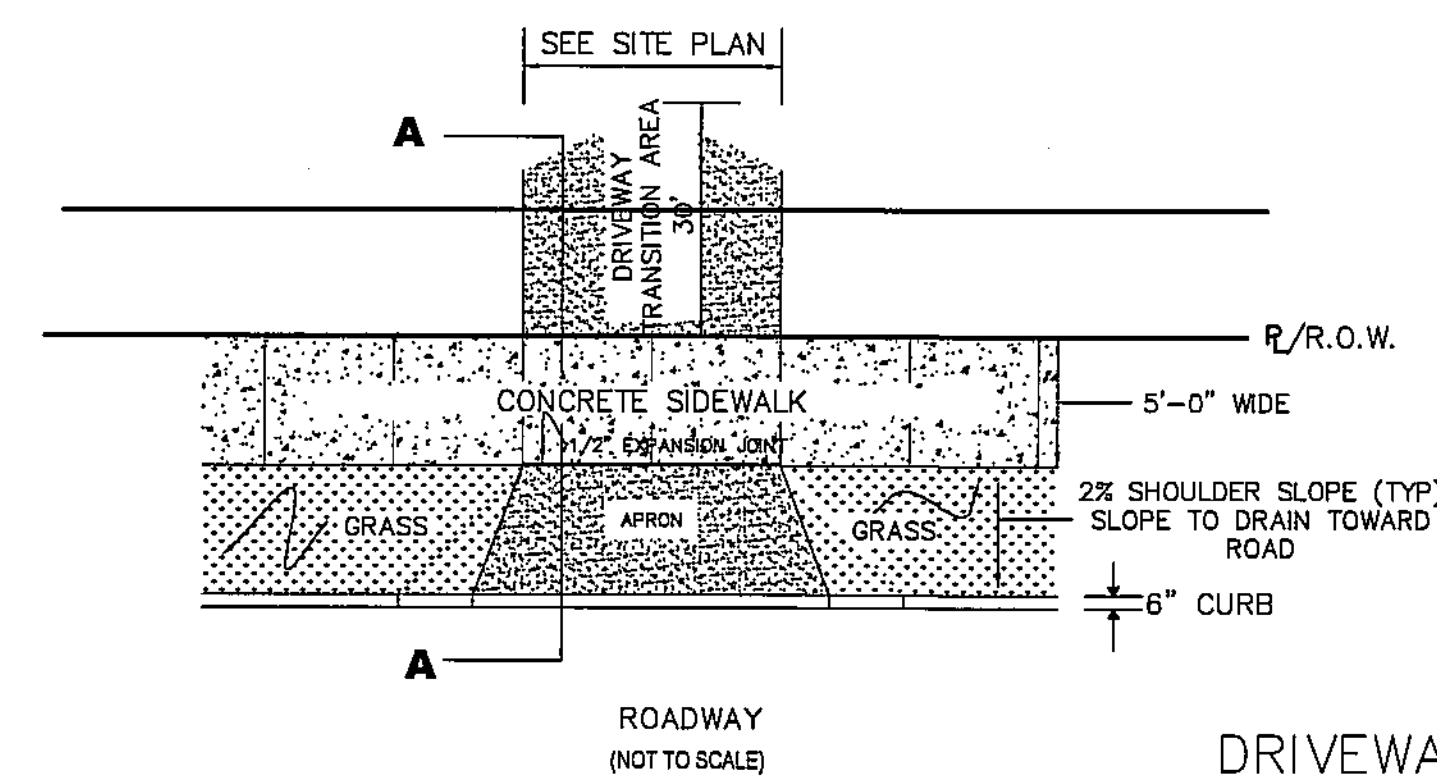
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 2. ALL SIDEWALKS MIN. 5" DEPTH WITH THE EXCEPTION WHERE TRAFFIC CROSSED TO BE 6" IN DEPTH.

SIDEWALK DETAIL

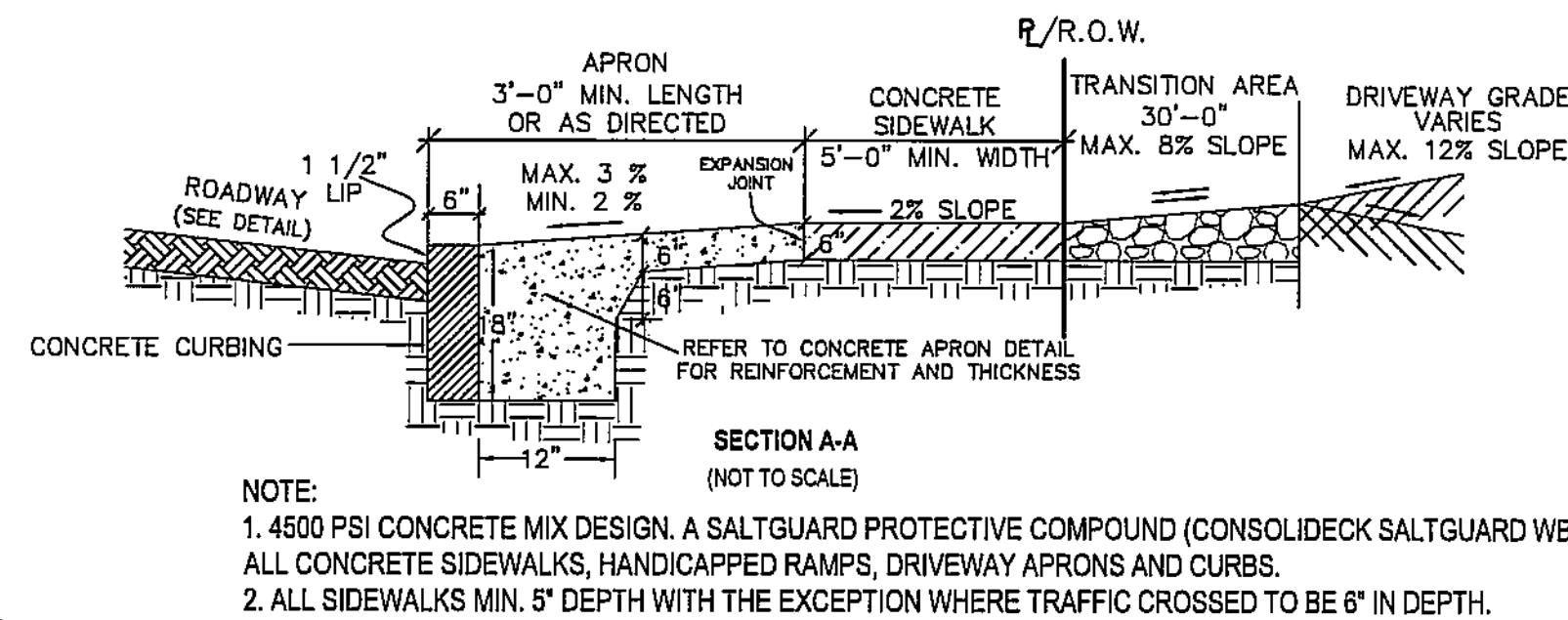


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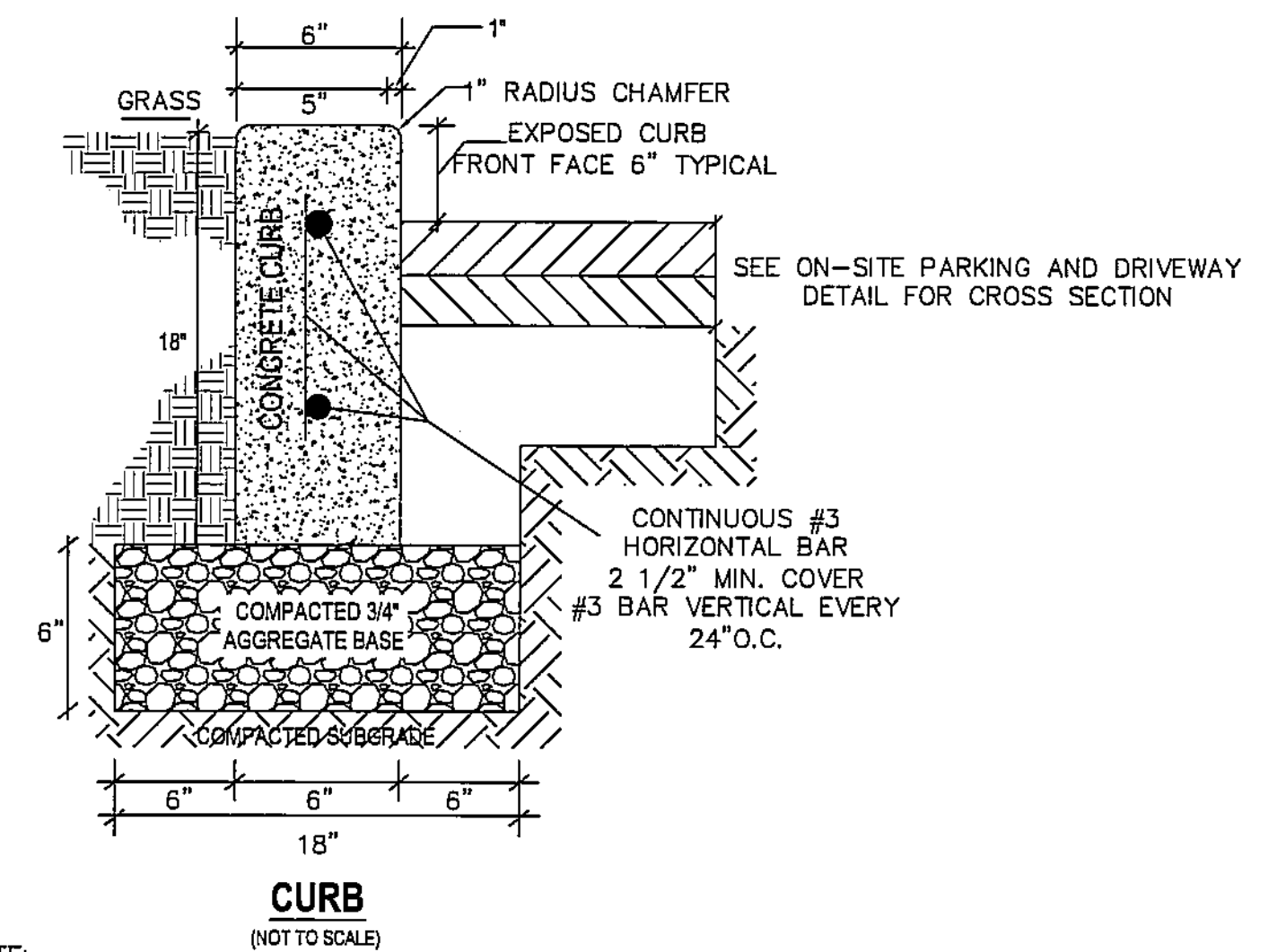
CONCRETE APRON DETAIL WITH HAUNCH



DRIVEWAY DETAIL WITH SIDEWALK

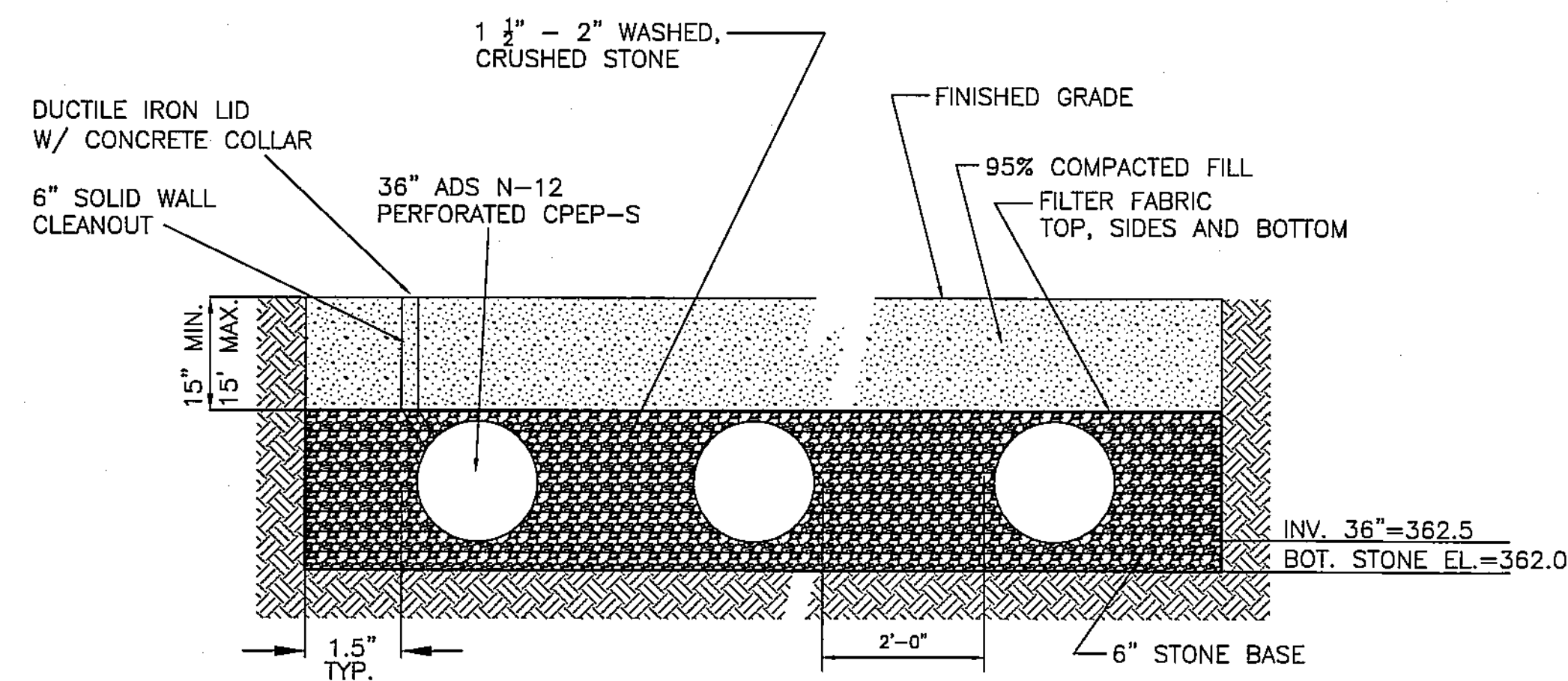


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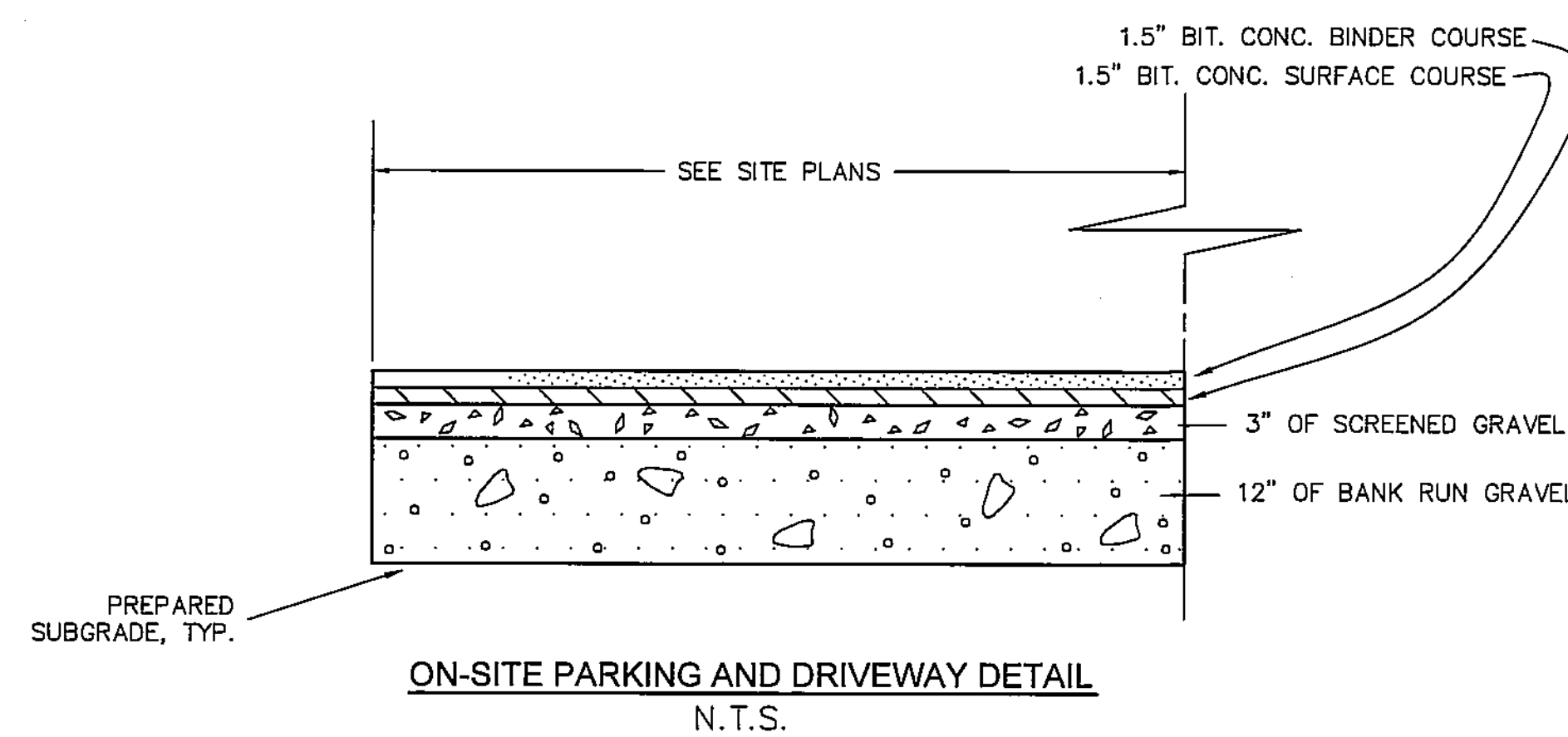


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CONCRETE CURB DETAIL



TYPICAL CROSS SECTION RETENTION SYSTEM N.T.S.



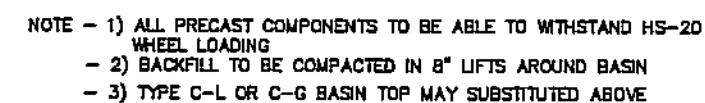
NOTES & DETAILS
PREPARED FOR
ECB REALTY, LLC
337 FEDERAL ROAD
BROOKFIELD, CONNECTICUT

Date: 02-06-14
Scale: N.T.S.
Proj. No: 06359
File No: 2953
Acad No: 06359SP
Sheet: C8



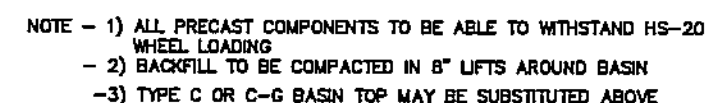
40 Old New Milford Road
Brookfield, CT 06804
(203)775-6207

33 Village Green Drive
Litchfield, CT 06759
(860)567-3179



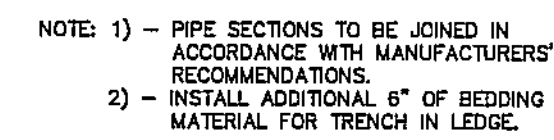
DETAIL - PRECAST CATCH BASIN
WITH TYPE "C" CATCH BASIN TOP

SCALE 1/4"=1'-0"

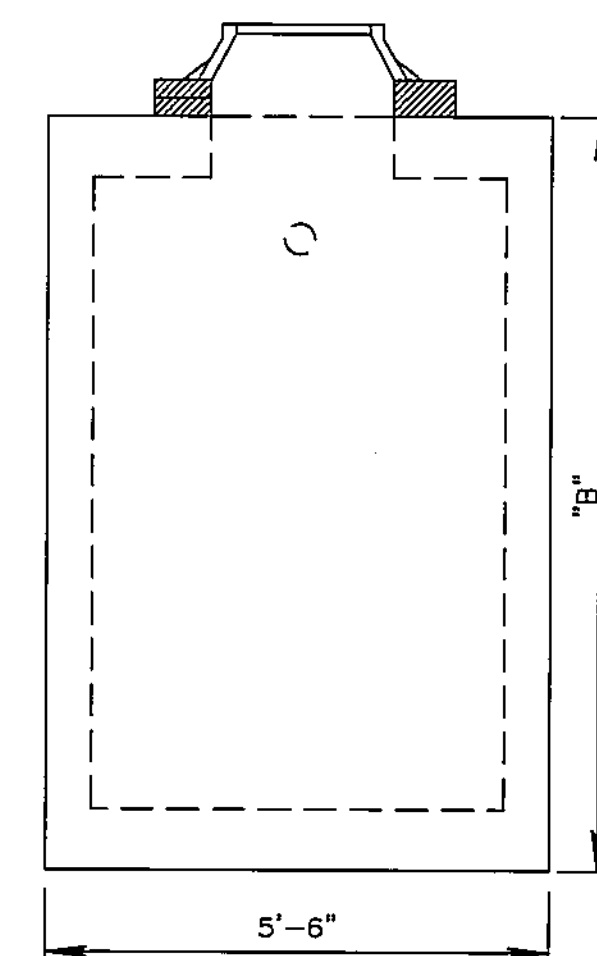


DETAIL - PRECAST CATCH BASIN
WITH TYPE CL CATCH BASIN TOP

SCALE 1/4"=1'-0"



TYPICAL TRENCH SECTION
SCALE 1/4"=1'-0"



GREASE TRAP SPECIFICATIONS:

- > MINIMUM CONCRETE STRENGTH - 5,000 PSI @ 28 DAYS
- > MATERIALS & MANUFACTURING PER ASTM C-1227
- > STEEL REINFORCEMENT - WELDED DEFORMED BARS 4"x4" DB.05/0.6
- > (DB.05) ASTM A-616
- > CONSTRUCTION JOINT SEALED WITH 1" BUTYL MASTIC ASTM C-990
- > 6" DIA. OUTLET TIE EQUIPPED WITH GAS DEFLECTOR OR EFFLUENT FILTER
- > 6" DIA. OUTLET TIE EQUIPPED WITH MINI BOOT, OR EQUAL MEETS PRESSURE
- > REQUIREMENTS OF ASTM C-922
- > CAPACITY @ FLOW LINE: 1,920 GALLONS
- > 28.5 GALLONS/INCH OF RISE
- > APPROXIMATE ASSEMBLED WEIGHT: 19,800 LBS.
- > CONSTRUCTION JOINT ON 1000 GAL IS ABOVE STATIC LIQUID
- > LEVEL. CONSTRUCTION JOINT ON LARGER SIZES IS BELOW STATIC
- > LEVEL.

	"A"	"B"	"C"	"D"	"E"
TANK CAPACITY	INLET HGT.	O.A. HGT.	OUTLET HGT.	LIQUID LEVEL	INSIDE HGT.
1000 GAL. *	47"	61"	44"	36"	45"
1250 GAL.	56"	70"	53"	45"	54"
1500 GAL.	66"	79"	63"	55"	63"
2000 GAL.	82"	95"	79"	71"	79"
2500 GAL.	102"	115"	98"	92"	99"
3000 GAL.	117"	130"	114"	108"	114"
3500 GAL.	135"	148"	132"	124"	132"

• 1000 GALLONS MINIMUM SIZE



NOTE: THE SILTSACK • WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MILLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-1555	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-149	0.55 SEC



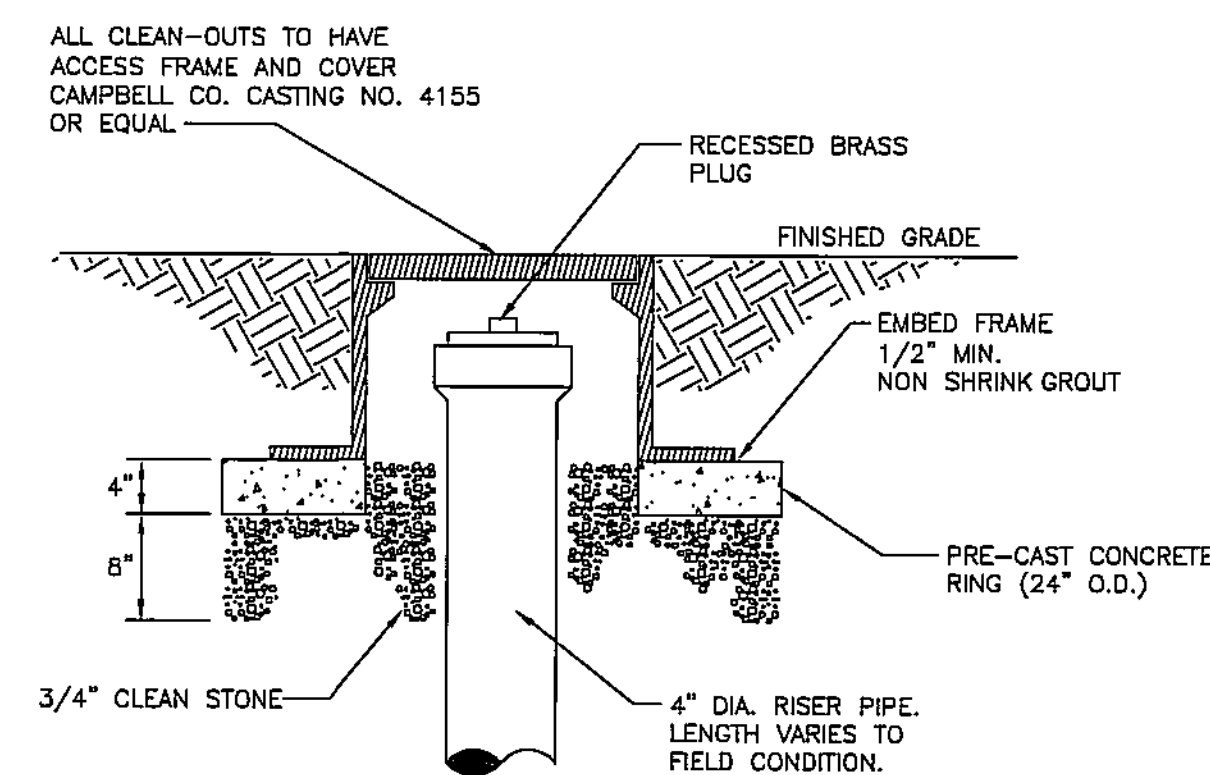
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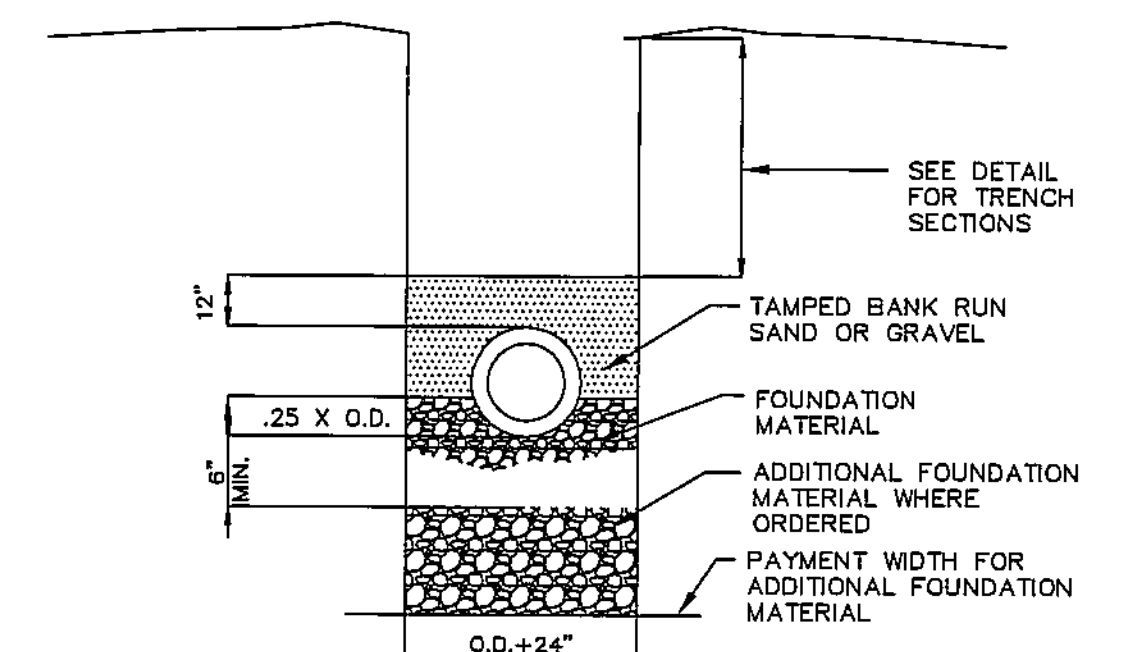
SANITARY SEWER SYSTEM NOTES:

- A) BUILDING SEWER CONNECTION TO BE 6-INCH DIAMETER SDR 35 ASTM D3034 PVC AND HAVE A MINIMUM SLOPE OF 1/4" PER FOOT.
- B) SIX-INCH WYES TO BE USED FOR BUILDING SEWER CONNECTION.
- C) SANITARY SEWER TO BE CONSTRUCTED IN COMPLIANCE WITH THE "STANDARD DETAILS" AND THE "SEWER USE REGULATIONS" OF THE BROOKFIELD W.P.C.A.
- D) BUILDING SEWER TO BE EXTENDED TO THE MAIN FIVE FEET FROM THE BUILDING OUTLET BY OTHERS.
- E) BASE INFORMATION TAKEN FROM SURVEY DATA PREPARED BY CCA, LLC.
- F) NO DEVIATION FROM THESE DOCUMENTS WILL BE PERMITTED WITHOUT PRIOR APPROVAL OF THE BROOKFIELD W.P.C.A. ENGINEER. AMBIGUITIES AND INCONSISTENCIES IN THE SPECIFICATIONS SHALL BE REFERRED TO THE ENGINEER FOR CLARIFICATION.
- G) CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- H) NOTICE "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 FOR MARK-OUT OF EXISTING UTILITIES IN ALL ADJOINING ROADS BEFORE COMMENCEMENT OF WORK.
- I) THE OWNER SHALL OBTAIN ALL APPLICABLE PERMITS FROM THE TOWN OF BROOKFIELD.
- J) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, VOLUMES, AND QUANTITIES SHOWN ON THESE PLANS PRIOR TO PROCEEDING WITH CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER FROM WHOM SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS TO CONSTRUCT BY.
- K) THE LOCATION AND ELEVATION OF UNDERGROUND UTILITIES IS UNKNOWN. IF THEY ARE INDICATED AT ALL ON THESE PLANS, THEY ARE APPROXIMATE AND CCA, LLC, ITS PRINCIPLES OR EMPLOYEES, SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND ANY ADDITIONAL COSTS WHICH MIGHT RESULT FROM THE EXISTENCE OF SAID UTILITIES.
- L) THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- M) NO PIPE CONNECTION CAN BE MADE OR TRENCH BACKFILLED UNLESS A BROOKFIELD W.P.C.A. REPRESENTATIVE IS PRESENT.
- N) NO SANITARY SEWER LATERAL TO BE LOCATED WITHIN 25' WELL RADIIUS.
- O) NO TREES TO BE LOCATED WITHIN 10' OF SANITARY SEWER LATERALS.
- P) ABANDON ALL EX. SEPTIC TANKS AND PUMP CHAMBERS IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE. AN ABANDONMENT PERMIT FROM THE BROOKFIELD HEALTH DEPARTMENT IS REQUIRED.



SANITARY SEWER CLEAN-OUT
FRAME AND COVER DETAIL
IN PAVED AREAS

NOT TO SCALE



TYPICAL TRENCH SECTION FOR CONNECTION

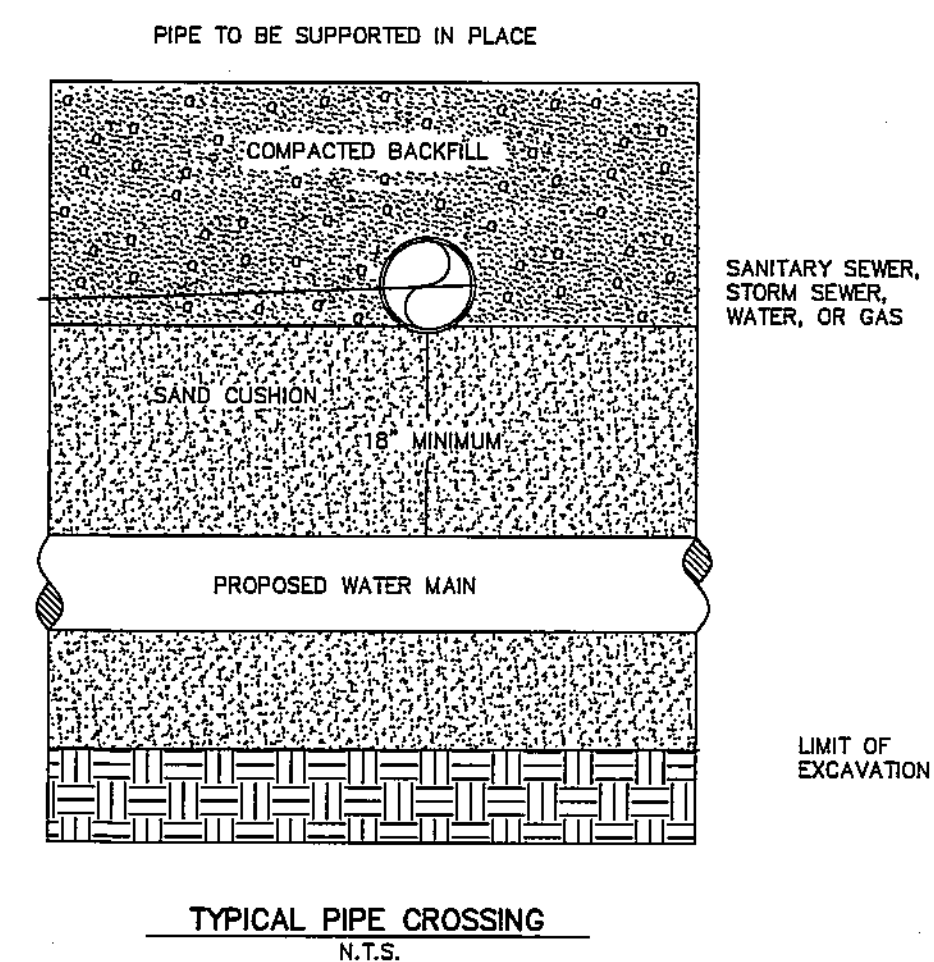
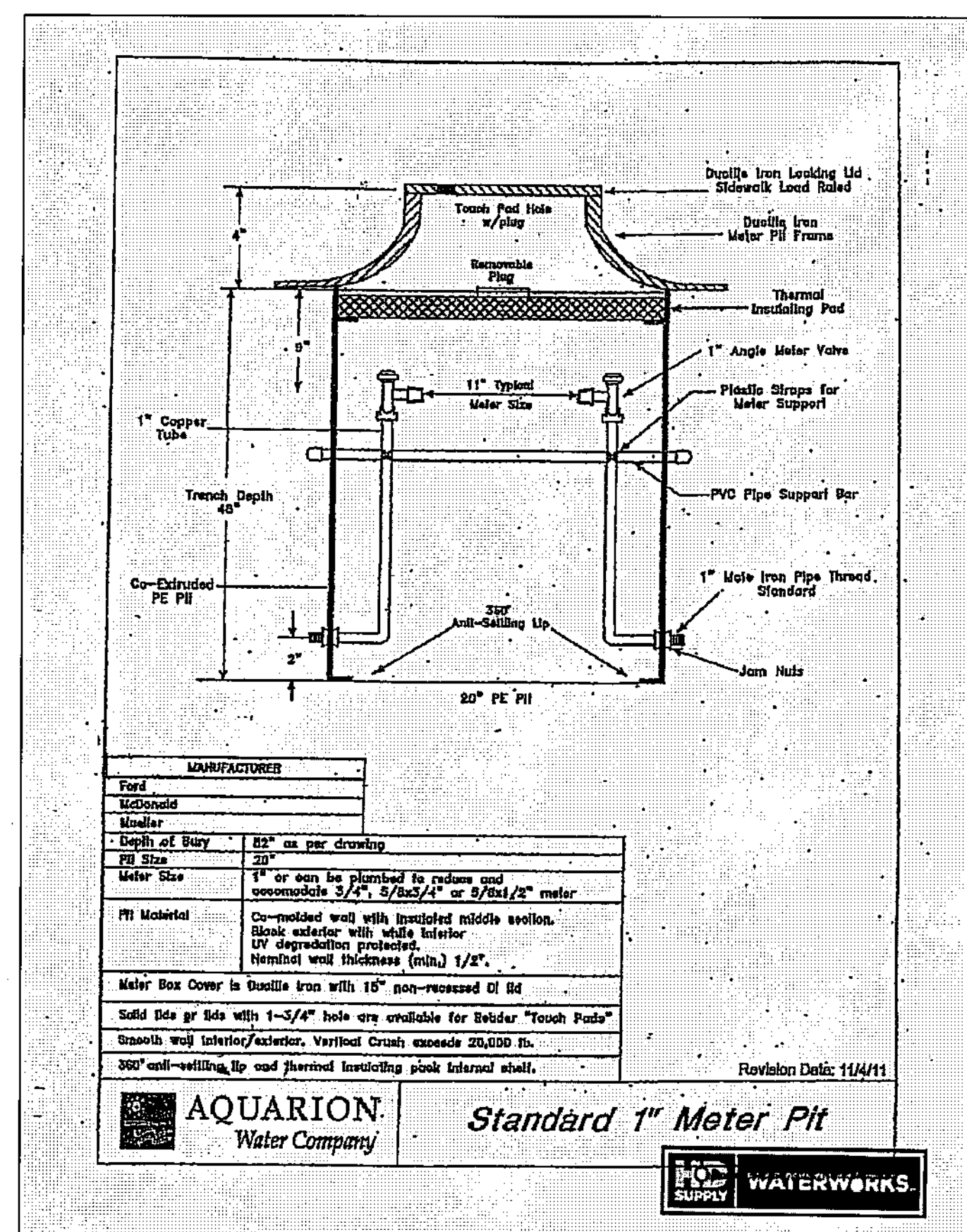
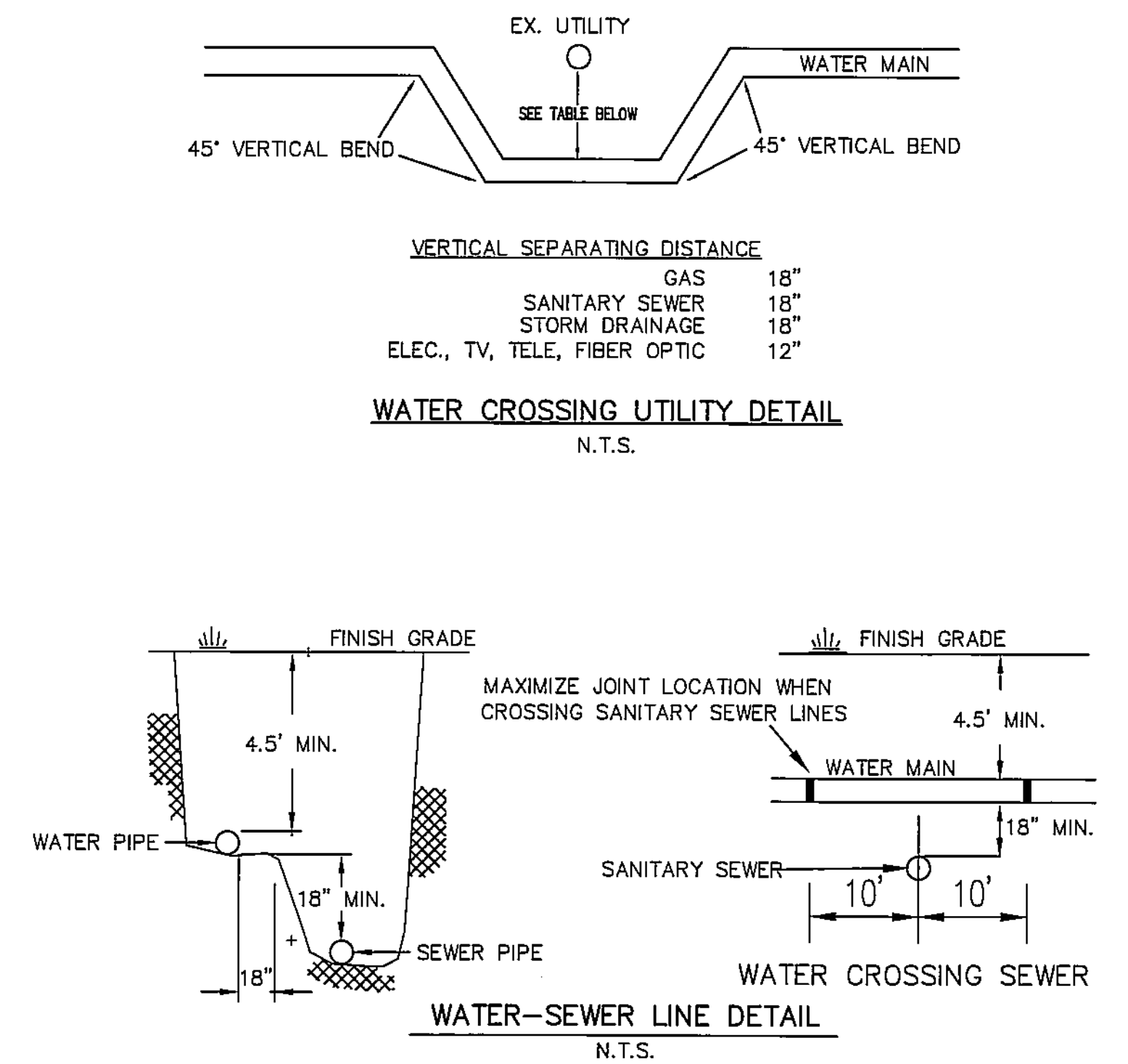
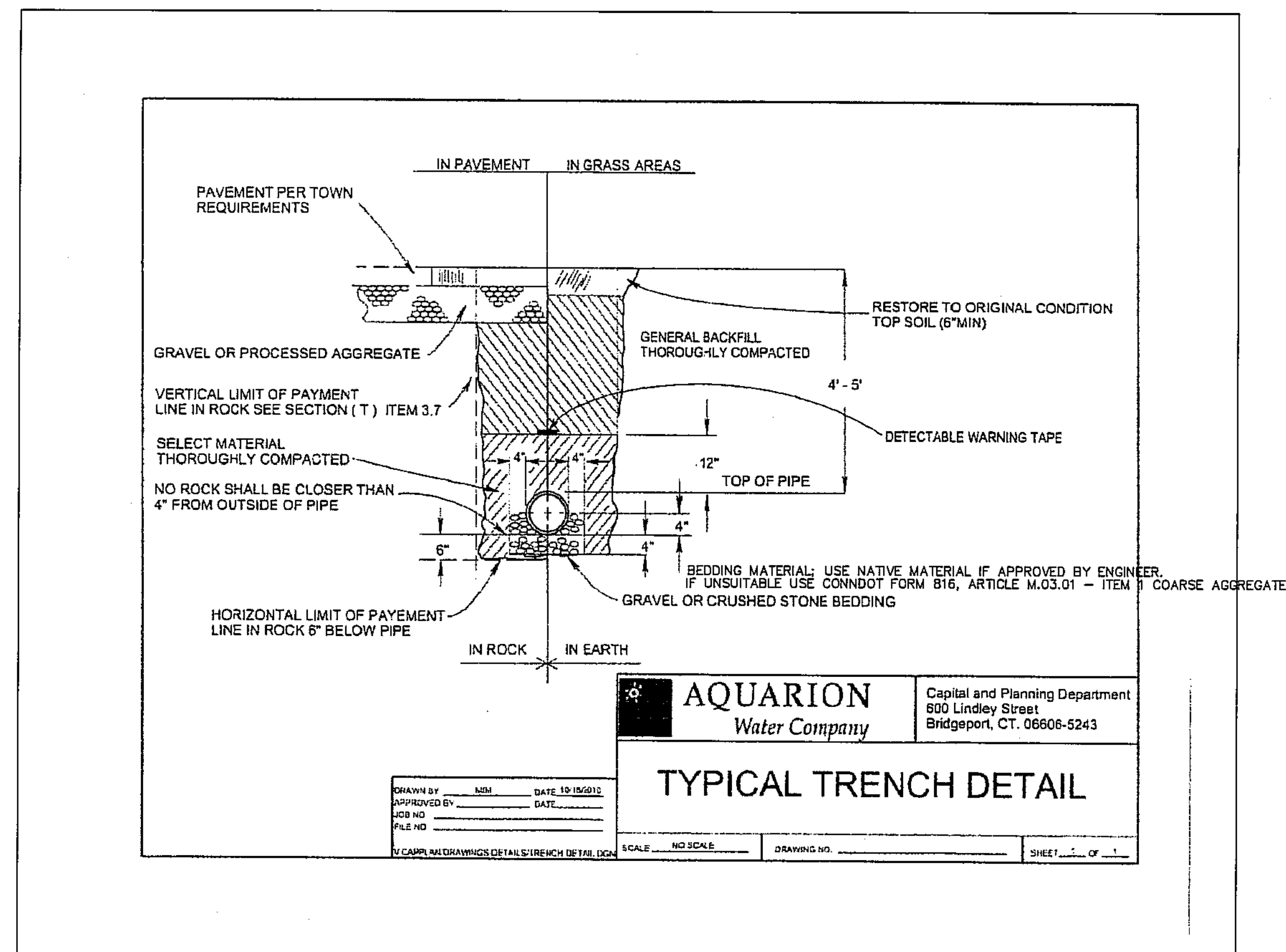
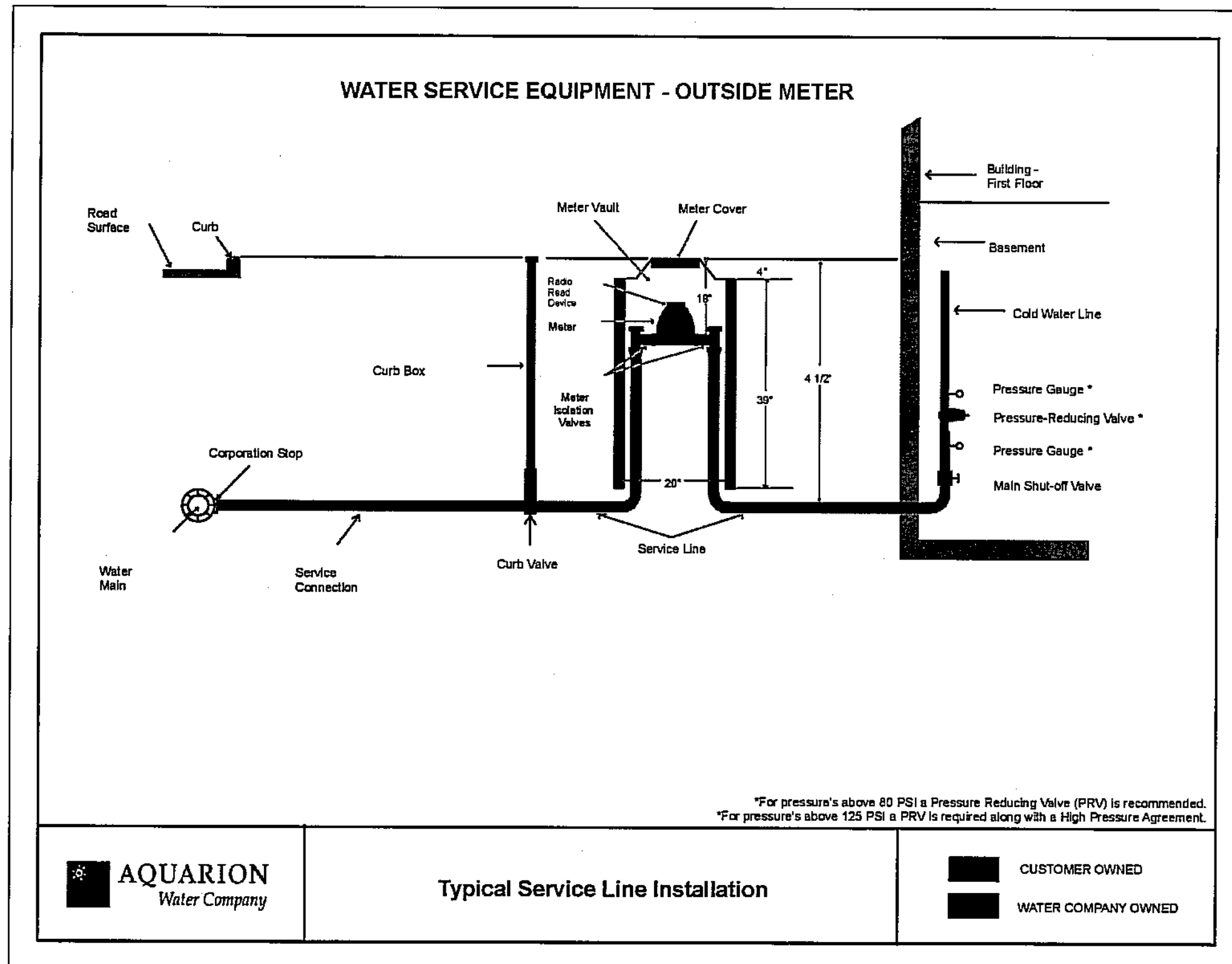
NOTES &
DETAILS
PREPARED FOR
ECB REALTY, LLC
337 FEDERAL ROAD
BROOKFIELD, CONNECTICUT

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40 Old New Milford Road
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3 Village Green Drive
Litchfield, CT 06759
(860)567-3179



NOTES & DETAILS

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